

PLANNING DEPARTMENT STAFF REPORT

TO: Mark Vermette (CAO) DATE: June 8th, 2023
Planning Advisory Committee (PAC)

FROM: Kristina Grondin, Planning Coordinator

FILE: D14-23-03

SUBJECT: Application for Zoning By-Law Amendment: 14 Dunn Drive, Red Lake

1. Description of the Subject Property and Area

This application pertains to 14 Dunn Drive, Red Lake. A location sketch is provided below.

The property is zoned Rural Residential (R4) and designated Rural Residential. The area of the property is 1.009 ha, with waterfrontage of approximately 273.7 metres. The property is currently vacant.

Location Sketch:



2. Application Description

The applicant is requesting relief from Section 3.26(g) to reduce the waterfront setback from 30 metres to 20 metres for the main dwelling and garage; and Section 3.3(f)(i) to permit a secondary dwelling unit that is 142 m² in size.

3. Site Visit and Photos

A site visit is to be completed on June 12th, 2023. An overview of the application will be provided. Pictures below were taken on June 9th, 2023.

Photo 1: Entrance from Dunn Drive.



Photo 2: Facing North East & Garage Location.



Photo 3: Facing North.



5. Notice Circulation and Public Consultation

Notice of the application was posted at the Municipal Office; mailed to property owners within 120 metres of the subject property, notice provided to the Ministry of Natural Resources and Forestry and the Northwestern Health Unit; posted on the Municipal website; provided to appropriate Department Heads and required organizations. A copy of the notice is attached to this report.

The Northwestern Health Unit advised that they have no concerns with the application as the reduced setback does not apply to the septic system.

The Ministry of Natural Resources and Forestry have no concerns with the application given that no natural heritage features have been identified adjacent to the subject property.

6. Zoning By-Law

The subject property is zoned Rural Residential which permits Single Detached Dwellings and secondary dwelling units.

Section 3.3(f) states:

A secondary dwelling unit shall be permitted in a single-detached, semi-detached or townhouse dwelling unit, or an accessory building in R1, R2 and R4 zone.

Section 3.3(f)(i) states:

The net floor area of the secondary dwelling unit shall not exceed 55m² in size or 40% of the net floor area of the main dwelling, whichever is the lesser size.

Section 3.3(f)(ii) states:

When located in an accessory building the secondary dwelling unit shall not be permitted on the ground floor or below grade.

Section 3.26(g) states:

No buildings or structures and no accessory buildings or structures shall be erected less than 30 metres from the highwater mark of any water body or watercourse.

8. Background, Analysis and Conclusion

The application process provides applicants the opportunity to request relief from the above noted sections of the Zoning By-Law.

The amount of bedrock on the property limits the location of the private septic system. The proposed location of the septic system forces the main dwelling and garage forward, reducing the setback from the highwater mark to 20 metres. All other buildings and uses would comply with the 30 metre setback.

The applicants wish to build a secondary dwelling above the detached garage. They are requesting that the secondary dwelling be permitted for the full length and width of the garage, totaling 142 m². This exceeds the permitted size by 87 m².

The application is consistent with other uses in the surrounding area. Approval of the application would permit the main dwelling to be built no closer than 20 metres from the highwater mark. It would also permit the increase in size for the secondary dwelling.

9. Recommendation

The proposed Zoning By-Law Amendment is permissible; the rezoning is supported by the Official Plan as it permits a wide variety of housing in the Rural Residential designation; the landscape of the property should be considered; the larger secondary dwelling is desirable and provides much needed housing in our community; and the proposed rezoning is keeping within the intent of the Zoning By-Law.

A copy of a Draft Zoning By-Law Amendment is attached which includes the details of the amendment, its purpose and effect.

It is recommended that the Planning Advisory Committee support the proposed amendment and recommend that Council adopt the Zoning By-Law Amendment, attached as Appendix 3.



Kristina Grondin
Planning Coordinator

Attachments:

- Appendix 1: Comments
- Appendix 2: Notice of Application and Public Meeting
- Appendix 3: Complete Application for Zoning By-Law Amendment
- Appendix 4: Draft Zoning By-Law Amendment

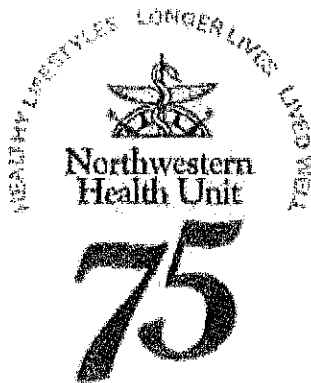
Subject: RE: Planning Application - 14 Dunn Drive
From: Thomas Nabb <tnabb@nwhu.on.ca>
Date: 2023-06-09, 3:50 p.m.
To: Kristina Grondin <kristina.grondin@redlake.ca>
CC: Part 8 - Permits <permits@nwhu.on.ca>

Hi Kristina,

We will not be providing a report as the requested minor variance proposal would not impact the sewage system on the property as it is specific only to the location of the dwelling unit.

I have flagged the concern that we had with the building inspector so that they are aware.

Thanks,
- Thomas



Thomas Nabb, HBHSc, BAsC, CPHI (C)
Manager, Environmental Health
Chief Building Official for Part 8
210 First Street North
Kenora, ON P9N 2K4
(807) 468-3147 ext.301224

Celebrating 75 years of local public health!

THIS MESSAGE IS FOR THE USE OF THE INTENDED RECIPIENT(S) ONLY AND MAY CONTAIN INFORMATION THAT IS PRIVILEGED, PROPRIETARY, CONFIDENTIAL, AND/OR EXEMPT FROM DISCLOSURE UNDER ANY RELEVANT PRIVACY LEGISLATION. No rights to any privilege have been waived. If you are not the intended recipient, you are hereby notified that any review, retransmission, dissemination, distribution, copying, conversion to hard copy, taking of action in reliance on or other use of this communication is strictly prohibited. If you are not the intended recipient and have received this message in error, please notify me by return e-mail and delete or destroy all copies of this message.



Ministry of Natural Resources and
Forestry

Red Lake Sioux Lookout District

227 Howey Street
PO Box 5003
Red Lake, ON P0V 2M0

49 Prince Street
Box 309
Sioux Lookout, ON P8T 1A6

Ministère des Richesses naturelles et
des Forêts

Red Lake Sioux Lookout District

Tel: 807-727-2253
Fax: 807-727-2861

Tel: 807-737-1140
Fax: 807-737-1813
<https://www.ontario.ca/mnrf>



June 08, 2023

Council of The Corporation of the Municipality of Red Lake
Red Lake Municipal Office, Council Chambers
P.O. Box 1000
2 Fifth Street
Balmertown, ON P0V 1C0
Attn: Kristina Grondin

To Ms. Grondin:

SUBJECT: D14-23-03

Thank you for your May 24, 2023 invitation to comment on the Green/McFadden Zoning By-Law Amendment application (File number D14-23-03). The Red Lake Sioux Lookout District Ministry of Natural Resources & Forestry has reviewed the package provided.

Given that no natural heritage features have been identified adjacent to this property, this proposal is unlikely to affect MNRF interests so we are not recommending additional study at this time.

Thank you again for the opportunity to comment on this application. Please include us in the circulation of the formal application if received.

Sincerely,

A handwritten signature in black ink, appearing to read "Erik Lockhart".

Erik Lockhart
A/Regional Planner
On behalf of Red Lake Sioux Lookout District



Dated: May 23, 2023

**NOTICE OF APPLICATION AND PUBLIC MEETING
FOR A ZONING BY-LAW AMENDMENT, FILE NUMBER D14-23-03**
Planning Act, R.S.O. 1990, c.P.13, s. 34 (13).

TAKE NOTICE that the Council of The Corporation of the Municipality of Red Lake has received a complete application for a Zoning By-Law Amendment described as follows:

LOCATION OF PROPERTY: 14 Dunn Drive, Municipality of Red Lake. Refer to the location sketch.

PROPERTY DESCRIPTION: The subject property is designated Rural Residential and zoned Rural Residential (R4). The subject property fronts Red Lake and is currently vacant.

PURPOSE AND EFFECT OF APPLICATION: Rezone the subject property to Site Specific Rural Residential (R4-13) to reduce the front yard setback to 20 meters and increase the permitted size of a secondary dwelling located above a detached garage.

OTHER PLANNING APPLICATIONS RELEVANT TO THE SUBJECT LOCATION: None.

ADDITIONAL INFORMATION about the application is available for public inspection during regular office hours at the address shown below.

TAKE NOTICE that the application under the above file number will be heard by the Planning Advisory Committee (PAC) of The Corporation of the Municipality of Red Lake on the date, and at the time and place shown below. When the Council of the Municipality of Red Lake receives the Planning Advisory Committee's recommendation, they will consider a decision regarding the application at their regular Council meeting.

PUBLIC MEETING: You are entitled to attend this public meeting in person to express your views about the application. If you are aware of any person interested in or affected by the application who has not received a copy of this notice you are requested to inform that person of this meeting. If you wish to make written comments on the application, they may be forwarded to the Clerk of The Corporation of the Municipality of Red Lake at the address below.

FAILURE TO MAKE ORAL OR WRITTEN SUBMISSION: If a person or public body does not make oral submissions at a public meeting or make written submissions to the Council of The Corporation of the Municipality of Red Lake before the by-law is passed:

- a) the person or public body is not entitled to appeal the decision of the Council of The Corporation of the Municipality of Red Lake to the Local Planning Appeal Tribunal.
- b) the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Appeal of a decision of the Municipality in respect of this amendment to the Zoning By-Law may be made by any person or public body not later than 20 days after notice of the decision is given.

NOTICE OF DECISION: If you wish to be notified of the decision of the Council of The Corporation of the Municipality of Red Lake in respect of the application for Zoning By-Law Amendment, you must make a written request to the Council of The Corporation of the Municipality of Red Lake at the address shown below.

DATE AND TIME OF PUBLIC MEETING: Tuesday, June 13th, 2023; 5:00 p.m.

PLACE AND ADDRESS: Municipal Office, Council Chambers. Located at 2 Fifth Street, Balmertown. Mailing Address: P.O. Box 1000, Balmertown, ON, P0V 1C0

Personal information that accompanies a submission will be collected under the authority of the Planning Act and may form part of the public record which may be released to the public.

If you have any questions, please contact the Planning Department at 807-735-2096 or by email at kristina.grondin@redlake.ca





FILE NUMBER
D14-23-03

MUNICIPALITY OF RED LAKE APPLICATION FOR A ZONING BY-LAW AMENDMENT

Planning Act, R.S.O. 1990, c. P13, s. 34(10.1); 1996, O. Reg. 545/06, Schedule

APPLICATION FEE ENCLOSED - \$600.00

THE INFORMATION IN THIS APPLICATION AND ALL OTHER INFORMATION, STUDIES, REPORTS AND COMMENTS RECEIVED RELATIVE TO THE PROCESSING OF THIS APPLICATION IS COLLECTED FOR THE PURPOSE OF CREATING A RECORD THAT IS AVAILABLE TO THE GENERAL PUBLIC. THIS APPLICATION, INCLUDING INFORMATION ABOUT YOUR PROPOSAL, WILL BECOME PART OF THE PUBLIC AGENDA OF COUNCIL AND COMMITTEES. NOTICE OF THE APPLICATION MAY ALSO BE PLACED INTO THE NEWSPAPER.

NAME OF OWNER Kirk Green, Amanda Mcfadden		NAME OF AGENT, SOLICITOR OR PLANNING CONSULTANT (IF APPLICABLE)	
ADDRESS 33 Lake drive Red Lake	POSTAL BOX PO BOX 1403 ON	STREET ADDRESS	POSTAL BOX
POSTAL/ ZIP CODE POV 2M0	PROV./ STATE	POSTAL/ ZIP CODE	PROV./ STATE
TELEPHONE 727 7592 / 728 3006		TELEPHONE	
EMAIL amanda_mcfadden@hotmail.com		EMAIL	

DOES ANY OTHER PARTY HAVE INTEREST IN THE PROPERTY, SUCH AS CHARGE, MORTGAGE, OR EASEMENT?
no

PLEASE PROVIDE THE NAMES AND ADDRESSES FOR THESE PARTIES
n/a

PROPERTY INFORMATION

LEGAL DESCRIPTION OF THE SUBJECT LAND, SUCH AS MINING PLAN DESCRIPTION, REGISTERED PLAN AND LOT OR PART NUMBERS
location CL5654 Dome Designated as pt 123R7843; pt Mining claim K1454
Dome Designated AS PT 1 23R115B2; PT location CL3455 AS PT 6 23R115B2

Street address and town site name
Municipal address : PIN 42009-2456 Red Lake, ON

DIMENSIONS OF SUBJECT LAND
Frontage (metres): Approx 273.701 Depth (metres): 47.366m - 135.76m Area (hectares): 1.009 ha

LAND USE DESIGNATION WITHIN THE OFFICIAL PLAN? HAS A SITE SPECIFIC DESIGNATION BEEN APPLIED? IF SO, WHAT LAND USES ARE PERMITTED?
Townsite Residential

EXPLANATION OF HOW THIS PROPOSAL CONFORMS TO THE OFFICIAL PLAN
Residential Dwelling is permitted in current designation

ZONING WITHIN THE ZONING BY-LAW? HAS A SITE SPECIFIC ZONING BEEN APPLIED? IF SO, WHAT LAND USES ARE PERMITTED?
Rural Residential (R4)

DATE SUBJECT LAND WAS ACQUIRED ON:	Jan 7/22
ARE THE MINERAL RIGHTS CROWN OR PATENTED?	Patented Mining Claim
ARE THERE ANY RESERVATIONS ON THE PATENT OR TITLE OF THE SUBJECT LOCATION?	no
IF FRONTED BY WATER, IS THE SHORELINE RESERVE PATENTED OR CROWN LAND? IF CROWN, HOW WIDE IS THE RESERVATION?	Reserve owned

PROPOSAL INFORMATION:

NATURE AND EXTENT OF REZONING REQUESTED	REASON WHY REZONING IS REQUESTED
Reduce front yard set back	because of bedrock the house
From 30m to 20m/increased secondary dwelling	cannot go back anymore/left of garage

EXISTING BUILDINGS AND STRUCTURES – Provide the following information for all buildings and structures. Attach a separate page if necessary.

TYPE - n/a	Front lot line setback:	Height in metres:
DATE CONSTRUCTED	Rear lot line setback:	Dimensions:
	Side lot line setback:	Floor Area:
	Side lot line setback:	
TYPE -	Front lot line setback:	Height in metres:
DATE CONSTRUCTED	Rear lot line setback:	Dimensions:
	Side lot line setback:	Floor Area:
	Side lot line setback:	

PROPOSED BUILDINGS AND STRUCTURES – Provide the following information for all buildings and structures. Attach a separate page if necessary.

TYPE - house	Front lot line setback: 24m	Height in metres: 9.1m
	Rear lot line setback: 19m	Dimensions: L 19.8m w 9.1m
	Side lot line setback: 7.3m	Floor Area: 2832 sq ft
	Side lot line setback: 7.3m	
TYPE - Garage	Front lot line setback: 33m	Height in metres: 6.4m
	Rear lot line setback: 48m	Dimensions: L 14.6m w 9.7m
	Side lot line setback: 26m	Floor Area: 1536 sq ft
	Side lot line setback: 26m	

ACCESS – Access to the subject land will be by:

<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Seasonally maintained Municipal road
<input type="checkbox"/> Year round maintained Municipal road	<input type="checkbox"/> Right-of-way
<input type="checkbox"/> Private road	<input type="checkbox"/> Water

WATER ACCESS – Where access to the subject land is by water only: *n/a*

Docking facilities (specify)..... Parking facilities (specify).....
distance from subject land distance from subject land
distance from nearest public road distance from nearest public road

EXISTING USES of subject land: <i>vacant</i>	LENGTH OF TIME the existing uses of the subject land have continued:
	<i>n/a</i>

PROPOSED USES of the subject land: *Building House and Detached Garage*

POTABLE WATER is provided to the subject land by:

- Publicly-owned/operated piped water system Lake or other water body
 Privately-owned/operated individual well Other means (specify)
 Privately-owned/operated communal well

SEWAGE DISPOSAL is or will be provided to the subject land by:

- Publicly-owned/operated sewage system Privy
 Privately-owned/operated individual septic system Other means (specify)
 Privately-owned/operated communal septic system

*Properties to be serviced by private sewage systems will require a preliminary soils inspection. It is the responsibility of the applicant to arrange an inspection with the Northwestern Health Unit.

*If the requested amendment would permit development on privately owned and operated individual or communal sewage system, and more than 4500 litres of effluent would be produced per day as a result of the proposed development, a servicing options report and a hydrogeological report must be provided.

STORM DRAINAGE is provided to the subject land by:

- Sewers Ditches Swales Other means (specify)

WASTE DISPOSAL – What is the expected type and volume of waste to be produced on the subject land? How will this waste be managed? i.e. Pick-up, etc.

Average house hold garbage, managed by garbage truck or dump drop off

Would the proposed amendment remove the subject land from an area of employment?

no

OTHER APPLICATIONS – if known, indicate if the subject land is or will be the subject of an application under the Act for: *n/a*

- approval of a plan of subdivision (under section 51) File Status

If Yes please describe in detail: _____
 consent (under section 53) File Status

If Yes please describe in detail: _____
 zoning by-law amendment (under section 34) File Status

If Yes please describe in detail: _____

Are you aware of any *Planning Act* Applications within currently being proposed for any properties within 120 metres of the subject property?

CHECK AS APPLICABLE:

Does the Owner own any adjoining property? Yes No

If Yes please describe in detail: _____

Is there any reason to believe that the site may be environmentally contaminated? Yes No

If Yes please describe in detail: _____

Has an industrial or commercial use been on or adjacent to the property? Yes No

If Yes please describe in detail: _____

Has lot grading been changed by adding or removing earth or other material? ? Yes No

Has the Ministry of the Environment or any other ministry advised the owners that the property is, or may be contaminated?

Yes No

If Yes please describe in detail: _____

Are there any known Natural Heritage values existing on the site? Yes No

HOUSING AFFORDABILITY

For applications that include permanent housing, complete *Table A- Housing Affordability*. For each type of housing and unit size, complete the rest of the row. If lots are to be sold as vacant lots, indicate the lot frontage. Information should be based on the best information available at the time of the application. If additional space is needed, attach a separate page.

Table A – Housing Affordability

Housing Type	Number of Units	Unit Size and/or Lot Frontage	Estimated Selling Price/ Rent
Semi-detached			
Link/ Semi-detached			
Row or Townhouse			
Mobile home/ trailer			
Apartment block			
Other types or multiples			

How in your view will the proposal fit with the existing land uses in the area?

Residential use is consistent with surrounding properties

Is the proposed amendment consistent with the Provincial Policy Statement issued under subsection 3(1) of the Planning Act?
(The 2005 Provincial Policy Statement can be found on the website of the Ministry of Municipal Affairs and Housing at
www.mah.gov.on.ca/Page215.aspx)

Yes

Land within the Municipality of Red Lake is designated under a Provincial Plan being the Northern Growth Plan that took effect in March 2011. Does this application conform or not conflict with the plan?

Does not conflict

Is there any other information that you think may be useful to the Municipality in reviewing this application for an amendment?
If so, explain below or attach a separate page with this information.

Reason for the amendment is because of bedrock and having to move the house forward, And building a larger secondary Dwelling

SITE PLAN SKETCH:

Minimum requirements will be a sketch, on letter paper, showing the following:

- North arrow, scale and legend
- The boundaries of the owner's property and dimensions
- The boundaries of the property subject to the application including area and dimensions if different from above
- The location, dimensions (height, length, and width) and type of all **existing** and **proposed** buildings and structures on the subject land, indicating the distance of the buildings or structures from other buildings and the front yard line, rear yard line and the side yard lot lines.
- The location or proposed location of any sewage disposal systems, including pit privies, grey water, or septic systems
- The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, transmission lines, roads, watercourses, slopes, drainage ditches, river or stream banks, wetlands, wooded areas, wells and sewage systems.
- The existing uses of lands on adjacent properties (i.e. residential, automotive repair, retail)
- The proposed development, including the area and dimensions of any new lots to be created, the size and location of buildings, parking spaces, landscaping, amenity areas, etc.
- As applicable - fire access route, outdoor equipment and storage, walkway, curbing, fencing
- Existing municipal infrastructure immediately adjacent to the site (roads, lane, sidewalks, existing entrances, boulevard trees, fire hydrants, hydro poles, easements, etc.)
- The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right-of-way.
- If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- The location and nature of any easements affecting the subject land.

AUTHORIZATION OF THE OWNER FOR AN AGENT TO MAKE APPLICATION

I/We the undersigned, being the owner of the subject land, hereby authorize
to be the applicant in the submission of this application. This application has been submitted with my/our full knowledge and
endorsement.

Signature of 1st Owner or Signing Officer

Signature of Witness

Signature of 2nd Owner or Signing Officer

Date

AFFIDAVIT OR SWORN DECLARATION FOR THE PRESCRIBED INFORMATION

I/We, Amanda McFadden Kirk Green of the Municipality of
Red Lake in the Province of Ontario
(Municipality/ City)
(Province)

solemnly declare that the statements and any maps or plans submitted with this application are true, and I/We make this
solmen declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under
oath and by virtue and provided by me are true and I make this solemn of the Canada Evidence Act.

Sworn (or declared) before me at the Municipality of Red Lake

in the District of Kenora

This 23 day of May, 2023.

Christine Goulet
Commissioner for Taking Affidavits

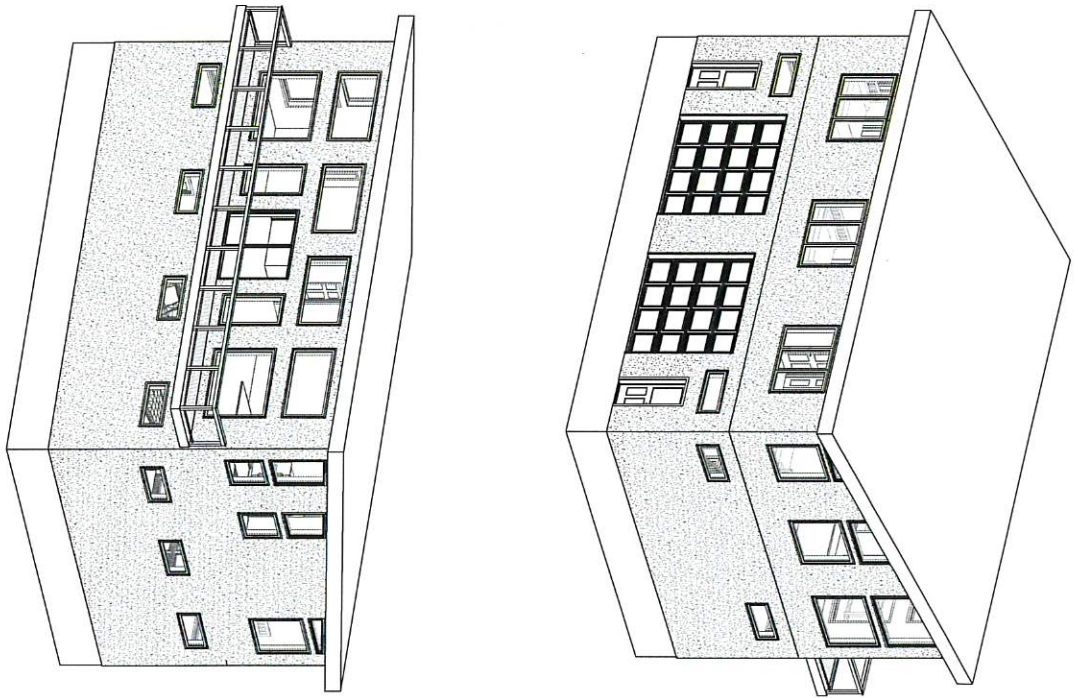
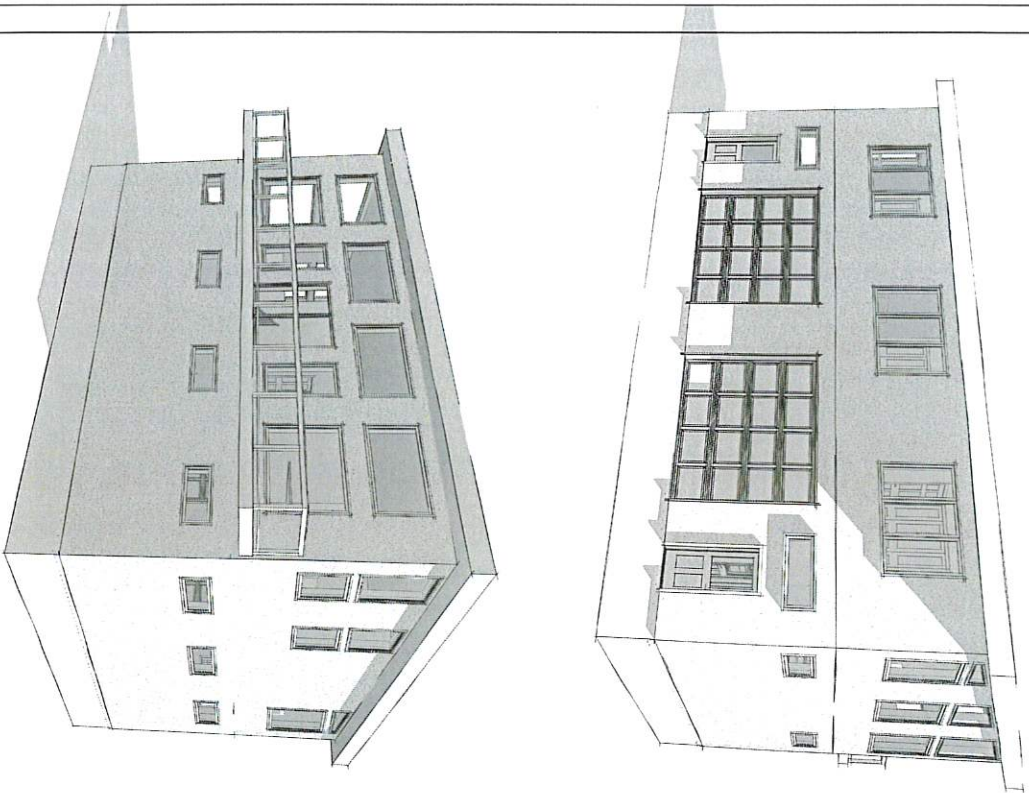
Amanda McFadden
1st Owner/ Signing officer/ Authorized Agent

Affix commissioner stamp here:

**Christine Goulet
a Commissioner, etc., District of Kenora
for the Corporation of the Municipality of Red Lake.**

[Signature]
2nd Owner/ Signing officer/ Authorized Agent

This section for Red Lake Municipal office use only:
Date complete application received: 23 May 2023



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR DESIGN AND HAS THE QUALITY OF THE DESIGN DRAWINGS AND THE PROJECT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER REQUIRED UNDER THE DESIGNATED PROFESSIONAL DESIGNER UNDER DIV. 2.3 OF THE ONTARIO BUILDING CODE 2012.

REGISTERED PROFESSIONAL ENGINEER
 ONTARIO PROFESSIONAL ENGINEERING BOARD
 1800 SHEPPARD AVENUE EAST, SUITE 100
 SCARBOROUGH, ONTARIO M1S 1T6
 TEL: 416-291-4444 FAX: 416-291-4445
 WWW.PROFENGINEERS.COM

DESIGNER'S NAME: [Redacted]
 PROJECT NAME: [Redacted]
 SHEET NO.: [Redacted]
 DATE: [Redacted]

GENERAL DESIGNER'S STAMPED DRAWINGS SHOWN IN BLUE
 INDICATE REVISIONS TO THE ORIGINAL DRAWINGS. ALL
 REVISIONS TO THE ORIGINAL DRAWINGS MUST BE
 APPROVED BY THE DESIGNER'S REGISTERED PROFESSIONAL
 ENGINEER.



GENERAL NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH THE ONTARIO BUILDING CODE AND ALL REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & CONSTRUCTION.
3. ALL CONSTRUCTION TO BE CARRIED OUT IN ACCORDANCE WITH THE ONTARIO BUILDING CODE. MINIMUM ALL OPERATING PROCEDURES ARE TO BE HEALTH & SAFETY ACT & REGULATIONS FOR CONSTRUCTION PROJECTS FOR ONTARIO AS SET OUT IN THE ONTARIO BUILDING CODE, SAFETY MANUAL BY THE CONSTRUCTION SAFETY ASSOCIATION OF ONTARIO.
4. DO NOT SCALE DRAWINGS.
5. PRODUCTS, EQUIPMENT & MATERIALS INCORPORATED IN THE WORK SHALL BE NEW, NOT DAMAGED OR DEFECTIVE, & OF THE BEST PURPOSE INTENDED.
6. ALL WORK TO BE PERFORMED BY QUALIFIED TRADESPERSONS ONLY.
7. CONTRACTOR TO VERIFY ALL DIMENSIONS, COORDINATE OTHER APPLICABLE DRAWINGS & DISCREPANCIES PRIOR TO CONSTRUCTION.
8. DESIGNER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY OCCUR FROM FINAL CONSTRUCTION DRAWING.

No.	Description	Date

Project: Garage
 12 Dunn Dr. Red Lake ON

TITLE SHEET

Project number: 23-005

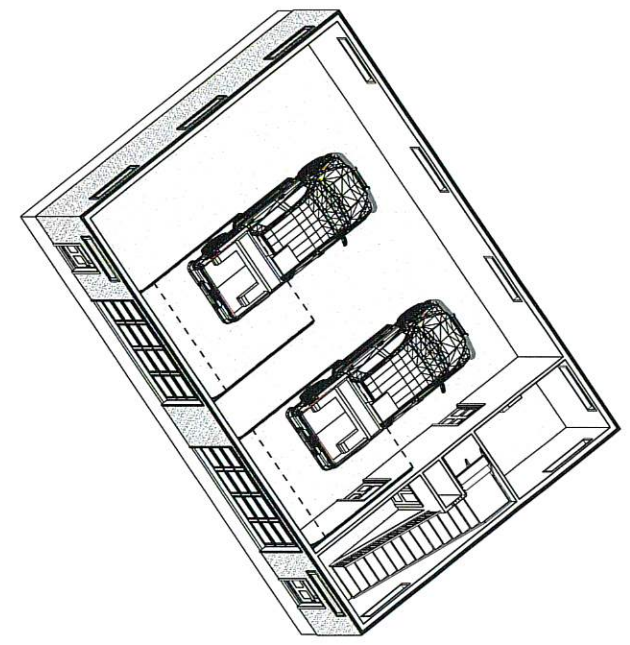
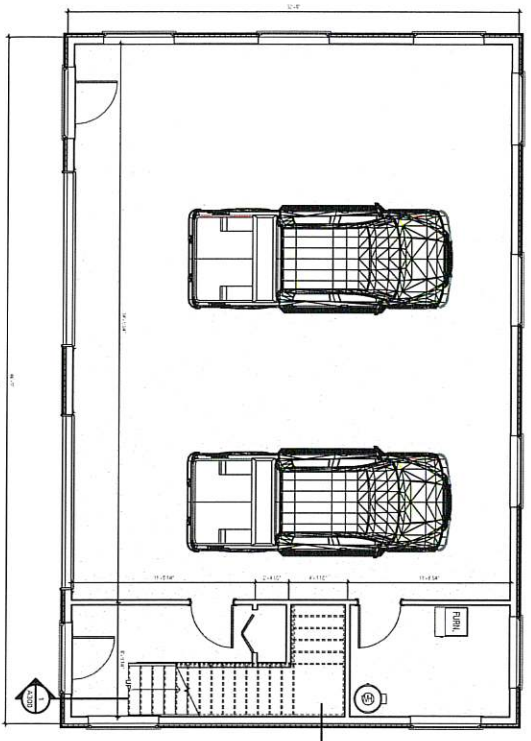
Date: [Redacted]

Drawn by: JN

Checked by: [Redacted]

Scale: A0

1 MF - T/O FW/SLAB
SCALE: 1/4" = 1'-0"



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR DESIGN AND SHALL BE OBLIGATED TO THE CLIENT AND TO THE PUBLIC IN THE CHANGING BUILDING CODE TO BE A REGISTERED PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO, CANADA. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES UNDER THE ONTARIO BUILDING CODE 1912.

REGISTERED PROFESSIONAL ENGINEER
REG. NO. 11587
FEDERAL TAX ID: 800022116AL0012211
WWW.NORTHWESTTIMBERMART.COM

Project Name: **Garage**
Client: **12 Dunn Dr. Red Lake, ON**
Drawn by: **JN**
Checked by: **A102**
Scale: **1/4" = 1'-0"**

**NORTHWEST
TIMBER MART**
11587 FEDERAL TAX ID: 800022116AL0012211
WWW.NORTHWESTTIMBERMART.COM

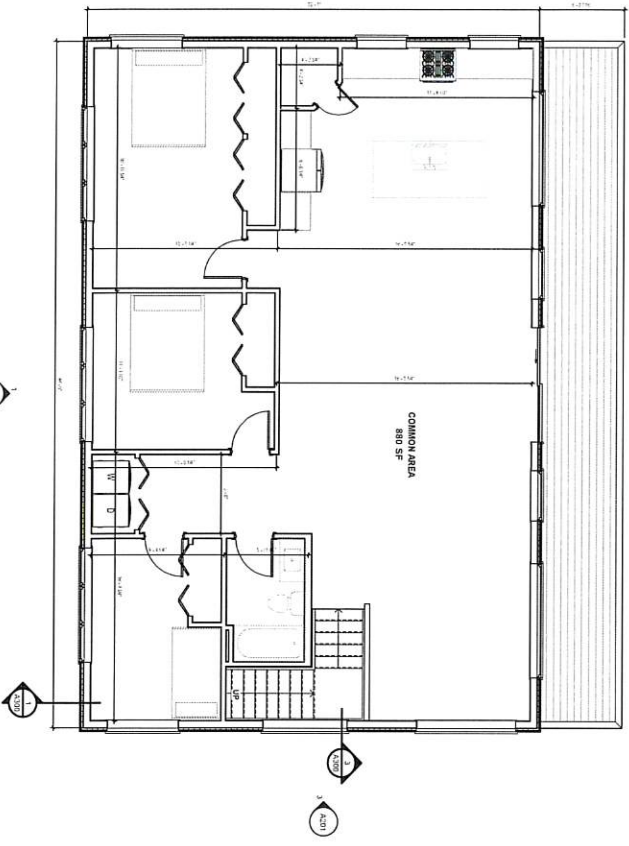
- GENERAL NOTES:**
1. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE AND ALL REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS & CONSTRUCTION.
 3. ALL CONSTRUCTION TO BE CARRIED OUT IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE 1912.
 4. DO NOT SCALE DRAWINGS.
 5. PRODUCTS EQUIPMENT & MATERIALS INCORPORATED IN THE WORK SHALL BE NEW, NOT DAMAGED OR DEFECTIVE, & OF THE BEST QUALITY AVAILABLE.
 6. ALL WORK TO BE PERFORMED BY QUALIFIED TRADESPERSONS ONLY.
 7. CONTRACTOR TO VERIFY ALL DIMENSIONS, SPECIFICATIONS AND RESOLVE ANY CONFLICTS PRIOR TO CONSTRUCTION.
 8. DESIGNER IS NOT RESPONSIBLE FOR ANY CHANGES TO THE DRAWINGS MADE FROM FINAL CONSTRUCTION DRAWING.

No.	Description	Date

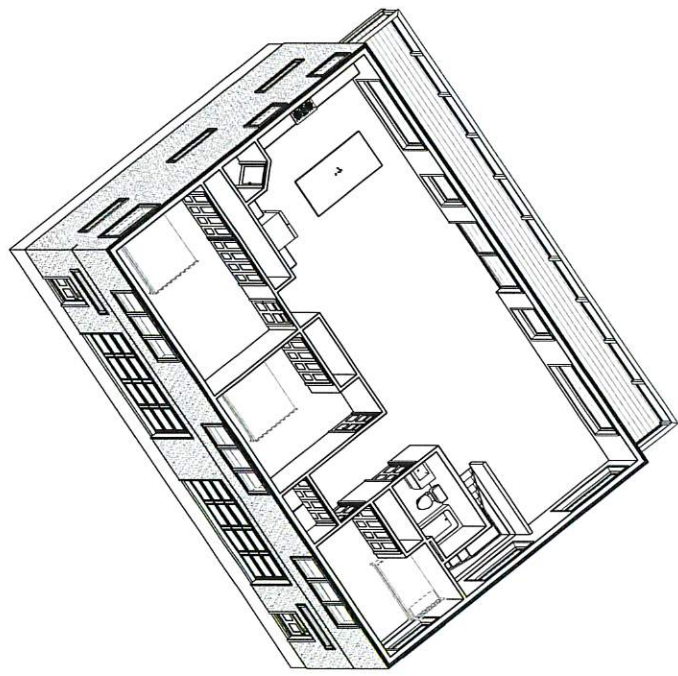
Project: **Garage**
12 Dunn Dr. Red Lake, ON

MAIN FLOOR PLAN

Project number: **23-005**
Date:
Drawn by: **JN**
Checked by: **A102**
Scale: **1/4" = 1'-0"**



1 UF - T/O SUBFLR
SCALE: 1/4" = 1'-0"



THE ENGINEER HAS REVIEWED AND TAKES RESPONSIBILITY FOR HIS DESIGN AND HAS THE OPINION THAT THE DESIGN COMPLIES WITH THE MINIMUM REQUIREMENTS OF THE ONTARIO BUILDING CODE TO BE A DESIGNER REGISTERED UNDER THE PROFESSIONAL ENGINEERING ACT, R.S.O. 1990, CHAPTER 122, AS AMENDED, AND THE ONTARIO BUILDING CODE 2012, DIV. 2.3.2 OF THE ONTARIO BUILDING CODE 2012.

DATE: 2023
PROJECT: GARAGE
CLIENT: 12 DUNN DR. RED LAKE, ON
DRAWN BY: JIN
CHECKED BY: JIN
PROJECT NUMBER: 23-005

GENERAL DESIGNER: STARRED DRAWINGS ARCHITECTURE
11000 SHEPPARD AVENUE EAST, SUITE 100
SCARBOROUGH, ONTARIO M1S 4T6
TEL: (416) 291-1111
WWW.STARREDDRAWINGS.COM

**NORTHWEST
TIMBER MART**
11000 SHEPPARD AVENUE EAST, SUITE 100
SCARBOROUGH, ONTARIO M1S 4T6
TEL: (416) 291-1111
WWW.NORTHWESTTIMBERMART.COM

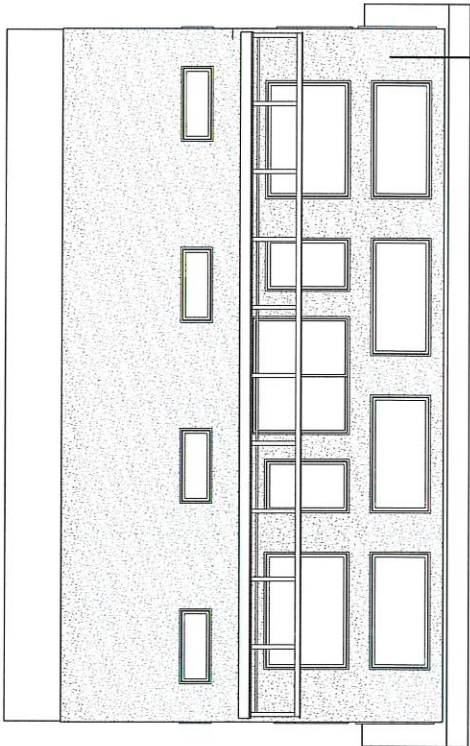
GENERAL NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH THE ONTARIO BUILDING CODE 2012 REGULATIONS HAVING JURISDICTION.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & CONSTRUCTION.
3. ALL CONSTRUCTION TO BE CARRIED OUT WITH FULL COMPLIANCE TO PERFORM MINIMUM ALL OPENING PROCEDURES ARE TO COMPLY WITH THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT AND REGULATIONS AS WELL AS THE CONSTRUCTION HEALTH & SAFETY ASSOCIATION OF ONTARIO.
4. DO NOT SCALE DRAWINGS.
5. PRODUCTS, EQUIPMENT & MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AS PER SPECIFICATIONS FOR THE WORK TO BE PERFORMED BY QUALIFIED CONTRACTORS TO VERIFY ALL DIMENSION COMPLIANCE ON-HEAD SPECIFICATIONS & DISCREPANCIES PRIOR TO CONSTRUCTION.
6. DESIGNER IS NOT RESPONSIBLE FOR ANY OTHER DESIGN CHANGES THAT DEVIATE FROM THE ORIGINAL DRAWINGS.

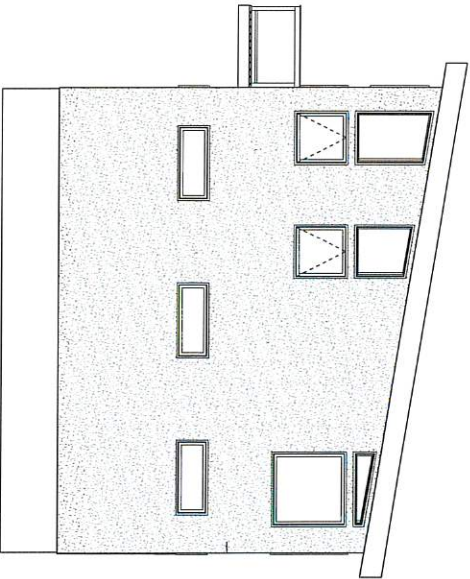
No.	Description	Date

Project:	Garage
Address:	12 Dunn Dr. Red Lake, ON
Project Name:	UPPER FLOOR PLAN
Project Number:	23-005
Date:	
Drawn By:	JIN
Checked By:	JIN
Scale:	1/4" = 1'-0"

1/4" = 1'-0"



2 BACK
SCALE: 1/4" = 1'-0"



1 LEFT
SCALE: 1/4" = 1'-0"

THE UNDERSIGNED ARCHITECT, ENGINEER AND LANDSCAPE ARCHITECT HAS PREPARED THESE DRAWINGS AND HAS THE RESPONSIBILITY FOR HIS DESIGN AND HAS THE OATH AND OMBUDSMAN'S SIGNATURE AND SEAL OF OFFICE. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REPRODUCTION OR TRANSMISSION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED.

DATE: 2023-03-16 12:32:03 PM



GENERAL NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH THE ONTARIO BUILDING CODE 2012 REGULATIONS HAVING JURISDICTION.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.
3. ALL CONSTRUCTION TO BE CARRIED OUT WITH FULL COMMITMENT TO PERSONAL AND PROFESSIONAL INTEGRITY. ALL OPERATING PROCEDURES ARE TO COMPLY WITH THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT AND REGULATIONS AS WELL AS THE CONSTRUCTION HEALTH & SAFETY ASSOCIATION OF ONTARIO.
4. DO NOT SCALE DRAWINGS.
5. PRODUCTS, EQUIPMENT & MATERIALS TO BE USED SHALL BE OF THE HIGHEST QUALITY (AS PER SPECIFICATIONS) FOR THE PURPOSES INTENDED.
6. ALL WORK TO BE PERFORMED BY QUALIFIED TRADESPERSONS ONLY.
7. CONTRACTOR TO VERIFY ALL DIMENSIONS, SPECIFICATIONS AND RESOLVE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
8. DESIGNER IS NOT RESPONSIBLE FOR ANY MATERIAL OR DESIGN CHANGE THAT DEVIATES FROM THE CONSTRUCTION DRAWINGS.

No.	Description	Date

Project: Garage
12 Dunn Dr. Red Lake, ON

EXTERIOR ELEVATIONS

Project number: 23-005

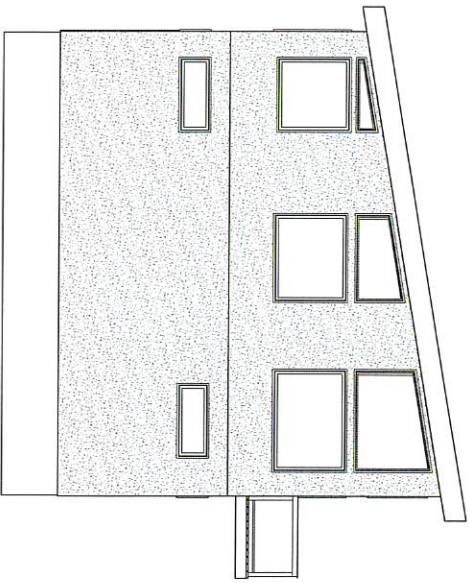
Date: _____

Drawn by: JN

Checked by: _____

Scale: 1/4" = 1'-0"

3 RIGHT
SCALE: 1/4" = 1'-0"



1 FRONT
SCALE: 1/4" = 1'-0"



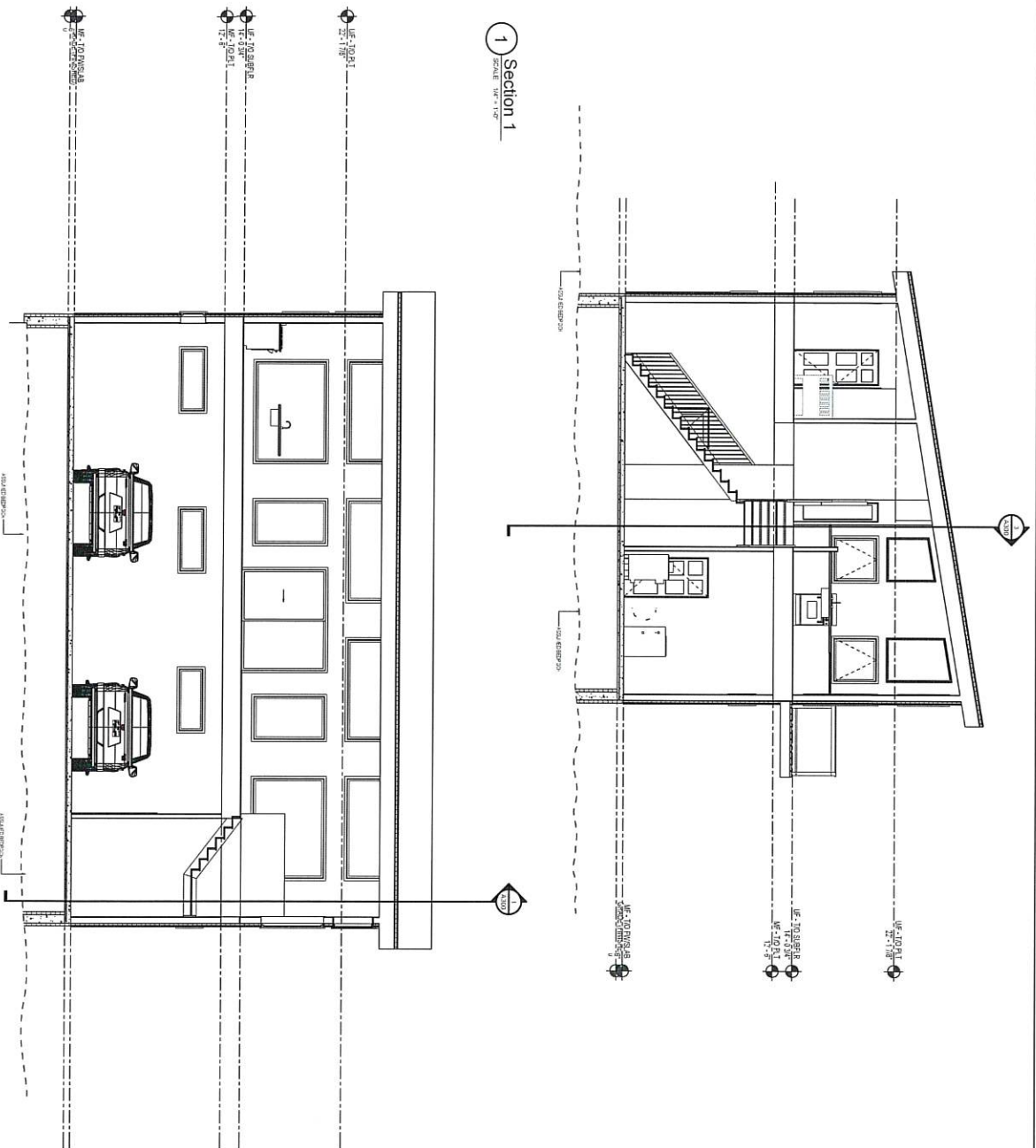
THE ENGINEER'S SERVICES ARE LIMITED TO THE DESIGN AND CONSTRUCTION OF THE GARAGE BUILDING AND DOES NOT INCLUDE THE DESIGN AND CONSTRUCTION OF THE FOUNDATION OR THE DESIGN AND CONSTRUCTION OF THE MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE GARAGE BUILDING AND DOES NOT INCLUDE THE DESIGN AND CONSTRUCTION OF THE FOUNDATION OR THE DESIGN AND CONSTRUCTION OF THE MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS.

NORTHWEST
TIMBER MART
11 TORO STREET, HULL, ON CANADA M3K 1W8
WWW.NORTHWESTTIMBERMART.COM

GENERAL NOTES:
1. ALL CONSTRUCTION TO COMPLY WITH THE ONTARIO BUILDING CODE 2012 REGULATIONS HAVING JURISDICTION.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.
3. ALL CONSTRUCTION TO BE CARRIED OUT WITH FULL COMPLIANCE TO PERSONAL PROTECTIVE EQUIPMENT (PPE) REQUIREMENTS. MINIMUM ALL OPERATING PROCEDURES ARE TO COMPLY WITH THE CURRENT OCCUPATIONAL SAFETY AND HEALTH REGULATIONS AND ALL CONSTRUCTION PRODUCTS FOR ONTARIO AS WELL AS THE CONSTRUCTION HEALTH & SAFETY ASSOCIATION OF ONTARIO.
4. DO NOT SCALE DRAWINGS.
5. PRODUCTS EQUIPMENT & MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY (AS PER SPECIFICATIONS) FOR THE PURPOSES INTENDED.
6. ALL WORK TO BE PERFORMED BY QUALIFIED TRADESPERSONS ONLY.
7. CONTRACTOR TO VERIFY ALL DIMENSION, SPECIFICATIONS AND RESOLVE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
8. DESIGNER IS NOT RESPONSIBLE FOR ANY MATERIAL OR DESIGN CHANGE THAT DEVIATES FROM THE CONSTRUCTION DRAWINGS.

No.	Description	Date

Project:	Garage
	12 Dunn Dr. Red Lake, ON
EXTERIOR ELEVATIONS	
Project number	23-005
Date	
Drawn by	JN
Checked by	
Scale	1/4" = 1'-0"



1 Section 1
Scale: 1/4" = 1'-0"

3 Section 3
Scale: 1/4" = 1'-0"

THE ENGINEER HAS PREPARED AND TAKES RESPONSIBILITY FOR HIS DESIGN AND HAS THE QUALITY OF THE CONSTRUCTION OF THE BUILDING UNDER HIS SUPERVISION. THE ENGINEER HAS NOT CONDUCTED A VISUAL INSPECTION OF THE CONSTRUCTION OF THE BUILDING UNDER HIS SUPERVISION. THE ENGINEER HAS NOT CONDUCTED A VISUAL INSPECTION OF THE CONSTRUCTION OF THE BUILDING UNDER HIS SUPERVISION. THE ENGINEER HAS NOT CONDUCTED A VISUAL INSPECTION OF THE CONSTRUCTION OF THE BUILDING UNDER HIS SUPERVISION.

NORTHWEST
TIMBER MART

11000 STREET HILLMAN, ON CANADIAN JAM
WWW.NORTHWESTTIMBERMART.COM

- GENERAL NOTES:**
1. ALL CONSTRUCTION TO COMPLY WITH THE ONTARIO BUILDING CODE 2012 REGULATIONS AND ALL APPLICABLE BY-LAWS AND ORDINANCES HAVING JURISDICTION.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS & CONSTRUCTION.
 3. ALL CONSTRUCTION TO BE CARRIED OUT WITH FULL COMPLIANCE TO PERSONAL MINIMUM ALL OPERATING PROCEDURES ARE TO COMPLY WITH THE CURRENT OCCUPATIONAL CONSTRUCTION PRODUCTS FOR ONTARIO AS WELL AS THE CONSTRUCTION HEALTH & SAFETY ASSOCIATION OF ONTARIO.
 4. DO NOT SCALE DRAWINGS.
 5. PRODUCTS EQUIPMENT & MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE QUALITY (AS PER SPECIFICATIONS) FOR THE PURPOSES IN THESE.
 6. ALL WORK TO BE PERFORMED BY QUALIFIED TRADESPERSONS ONLY.
 7. CONTRACTOR TO VERIFY ALL DIMENSIONS, SPECIFICATIONS AND RESOLVE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 8. DESIGNER IS NOT RESPONSIBLE FOR ANY MATERIAL OR DESIGN CHANGE THAT DELAYS FROM THE CONSTRUCTION DRAWINGS.

No.	Description	Date

Project: Garage
12 Dunn Dr. Red Lake, ON

SECTIONS

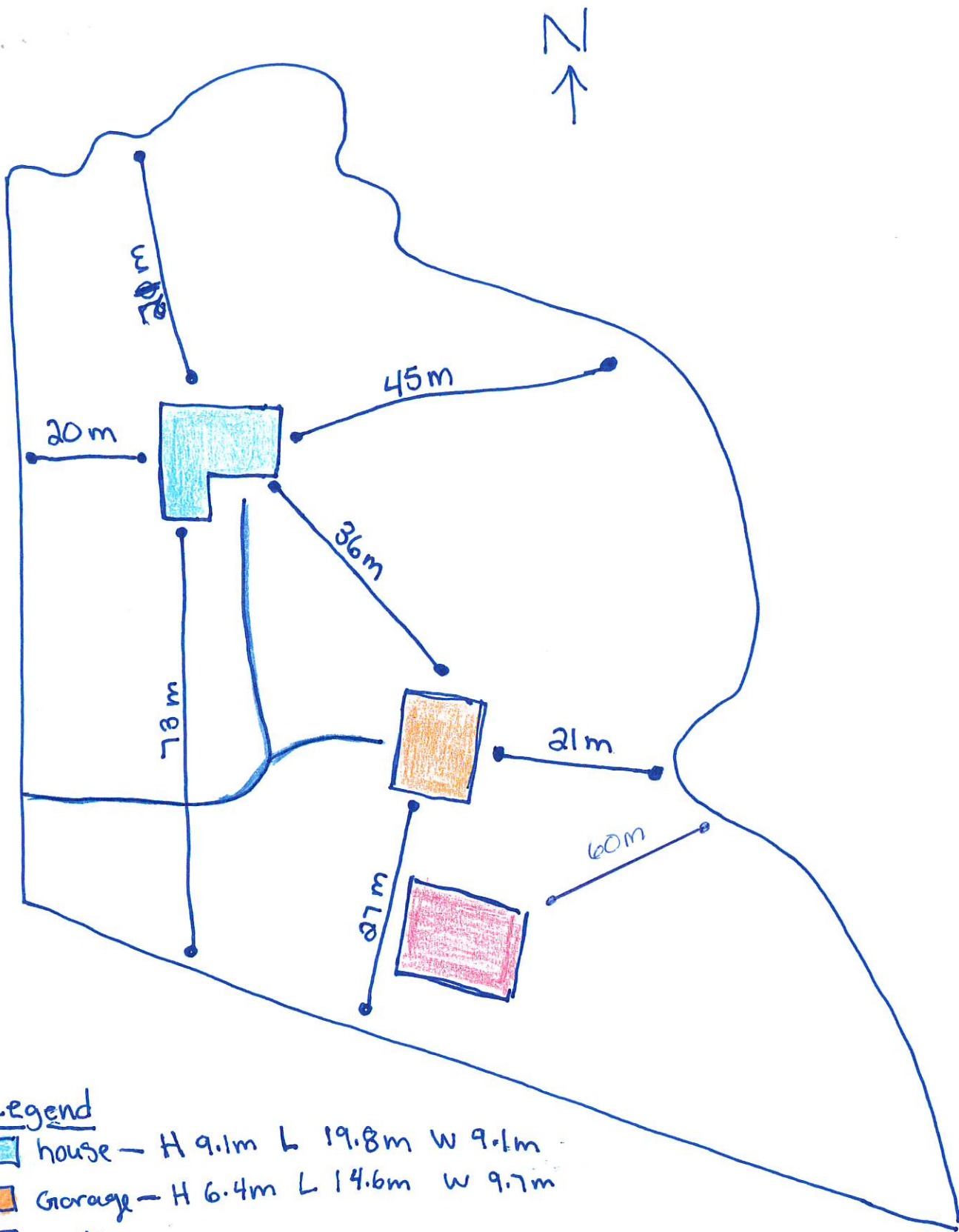
Project number: 23-005

Date: 23-005

Drawn by: CR

Checked by: KC

Scale: A300
1/4" = 1'-0"



Legend

- house — H 9.1m L 19.8m W 9.1m
- Garage — H 6.4m L 14.6m W 9.7m
- Septic
- Drive way

PLAN OF SURVEY OF
PART OF MINING CLAIM K-1454
TOWNSHIP OF DOME
MUNICIPALITY OF RED LAKE
DISTRICT OF KENORA
PATRICIA PORTION

SCALE - 1:750
1cm = 10 20 30 40m

W. J. BOWMAN LTD.
2008

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 15th DAY OF MAY, 2008.

June 20, 2008

JIM BOWMAN
ON TARIO LAND SURVEYOR

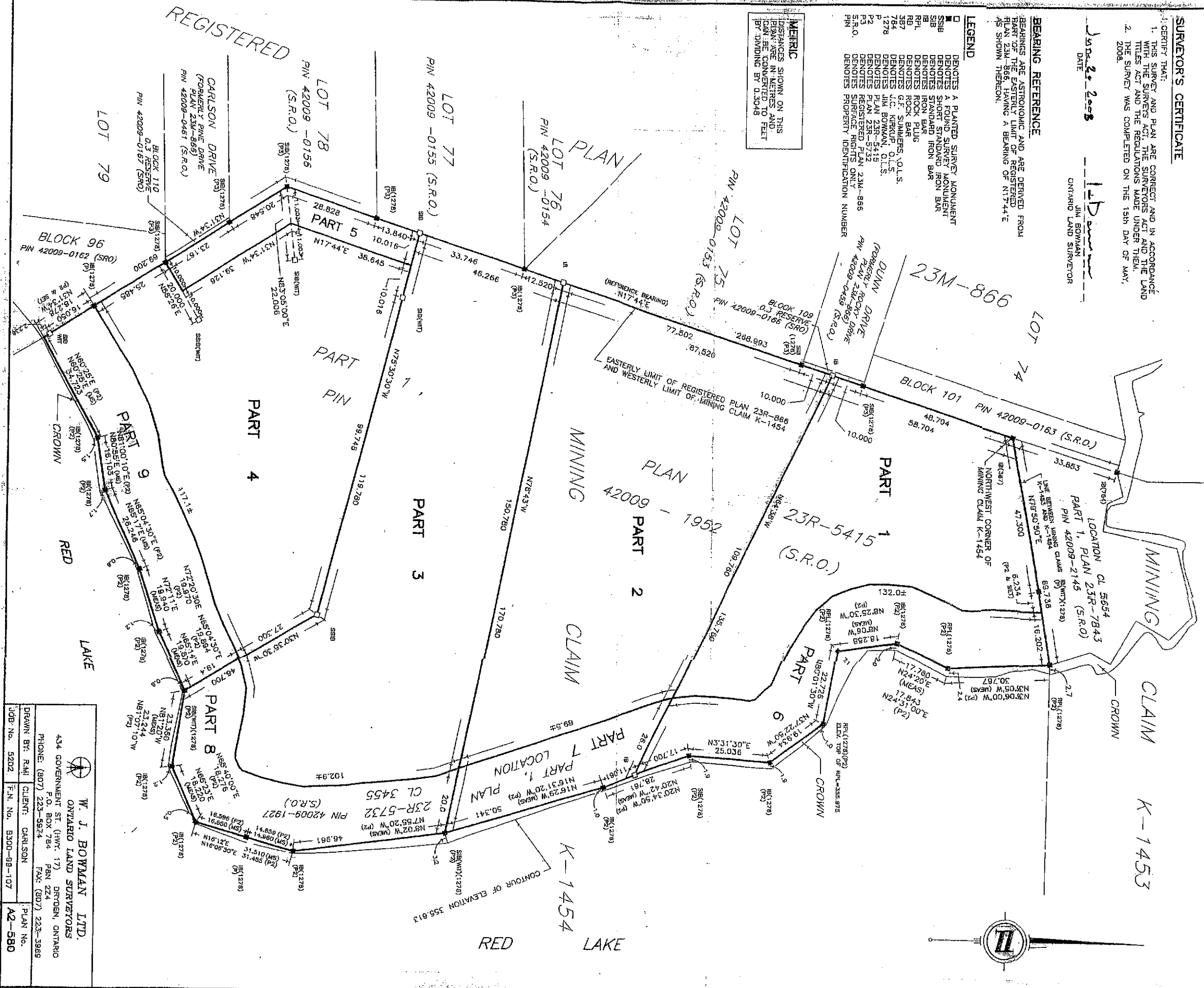
BEARING REFERENCE

BEARINGS ARE ASTRONOMIC AND ARE DERIVED FROM PART 708 OF THE EASTERLY LIMIT OF REGISTERED PLAN 23M-866, HAVING A BEARING OF N17°44'E AS SHOWN THEREON.

LEGEND

- ▣ DENOTES A PLANTED SURVEY MONUMENT
- DENOTES A FOUND SURVEY MONUMENT
- DENOTES STAMPED IRON BAR
- DENOTES IRON BAR
- DENOTES ROCK PLUG
- DENOTES G.F. SUMMERS, O.L.S.
- DENOTES J.C. KIRKUP, O.L.S.
- DENOTES JIM BOWMAN, O.L.S.
- DENOTES PLAN 23R-5415
- DENOTES REGISTERED PLAN 23M-866
- DENOTES REGISTERED PLAN 23M-866
- DENOTES PROPERTY IDENTIFICATION NUMBER

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



PARTS SCHEDULE			
PART	MINING CLAIM	PIN	AREA
1			0.543 Ha.
2			0.930 Ha.
3			0.884 Ha.
4			0.714 Ha.
5			0.061 Ha.
5	PART OF 42009-1952 (SRO)		0.245 Ha.
7			0.121 Ha.
8			0.207 Ha.
9			0.221 Ha.
		ALL OF PIN 42009-1927 (SRO)	0.221 Ha.
		TOTAL	3.586 Ha.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

PLAN 23R-11582

DATE June 20, 2008

DATE June 24, 2008

JIM BOWMAN, O.L.S.

Dep't. "B. Richards"
LAND REGISTRAR FOR THE LAND TITLES DIVISION OF KENORA

W. J. BOWMAN LTD.
ON TARIO LAND SURVEYORS
434 GOVERNMENT ST. (HWY. 17) DROUEN, ONTARIO
P.O. BOX 784 PEN 2Z4
PHONE: (807) 223-5874 FAX: (807) 223-3869

DRAWN BY: RAH CLIENT: CARLSON PLAN NO. A2-580

JOB No. 5202 F.N. No. B300-99-107



THE CORPORATION OF THE MUNICIPALITY OF RED LAKE

BY-LAW No. XX-2023

BEING A BY-LAW TO AMEND BY-LAW NO. 1930-14 WHICH REGULATES THE USE OF LAND, CHARACTER AND LOCATION OF BUILDINGS, AND STRUCTURES IN THE MUNICIPALITY OF RED LAKE

WHEREAS the Official Plan of the Corporation of the Municipality of Red Lake was approved by the Minister of Municipal Affairs on October 22, 2015; and,

WHEREAS the Municipality is in receipt of an application for a zoning by-law amendment and has administered a public meeting in accordance with the Planning Act, R.S.O, 1990; and,

WHEREAS Council deems it advisable to amend By-Law No. 1930-14 in accordance within the provisions of Section 34 of the Planning Act, Chapter P13, R.S.O. 1990;

NOW THEREFORE the Council of The Corporation of the Municipality of Red Lake hereby **ENACTS AS FOLLOWS:**

SECTION 1 – Application

- 1.1 This By-Law shall apply to property located at 14 Dunn Drive, Red Lake on lands described legally as location CL5654 Dome designated as PT 1 23R7843; PT Mining Claim K1454 Dome Designated as PT 1 23R11582; PT Location CL3455 Dome Designated as PT 6 23R11582.
- 1.2 A location sketch identified as “Schedule A” is attached hereto and forms part of this By-Law. The property subject to this amendment of the Zoning By-Law is shown as “Subject Location”.

SECTION 2 – Purpose and Effect

- 2.1 By-Law No. 1930-14 is hereby amended insofar as it applies to the permitted uses and regulations of lands shown on Schedule A-1 Townsite of Red Lake.

The purpose of this By-Law is to change the regulated zoning classification for the lands from the Rural Residential (R4) Zone to the Rural Residential Exception (R4-13).

SECTION 3 – Amendment

- 3.1 Certain regulations are hereby amended by adding the following new section after the sub-section entitled “R4-12 Zone: 12 Pickerel Drive”:

R4-13 Zone: 14 Dunn Drive

Notwithstanding any other provision of this By-Law to the contrary, the following provisions shall apply to lands zoned R4-13:

- (i) Minimum Setback from High Water Mark for a main dwelling and detached garage: 20 m.
- (ii) Net floor area of the secondary dwelling unit shall not exceed 145 m².

SECTION 4 – Conformity

In all other respects the provisions of By-law 1930-14 shall continue to apply.

THAT this By-Law shall come into force and take effect upon the final passing thereof.

READ a **FIRST** and **SECOND TIME** this 19th day of June, 2023.

Fred Mota, Mayor

Christine Goulet, Clerk

READ a **THIRD TIME** and **FINALLY PASSED** this 19th day of June, 2023.

Fred Mota, Mayor

Christine Goulet, Clerk

DRAFT

SCHEDULE A

14 Dunn Drive, Red Lake
PT 1 23R7843; PT Mining Claim K1454 Dome Designated as PT 1 23R11582; PT
Location CL3455 Dome Designated as PT 6 23R11582



Municipality of Red Lake
KEY MAP
By-Law No. XX-2023



SCHEDULE B

STATEMENT OF CONFORMITY TO THE OFFICIAL PLAN
FOR THE MUNICIPALITY OF RED LAKE (BY-LAW 1937-14)

I, CHRISTINE G. GOULET, CLERK OF THE MUNICIPALITY OF RED LAKE,
HAVE REVIEWED BY-LAW NO. XX-2023 OF THE MUNICIPALITY
OF RED LAKE, AND I AM OF THE OPINION THAT THIS BY-LAW
IS IN CONFORMITY WITH THE OFFICIAL PLAN FOR THE
MUNICIPALITY OF RED LAKE (BY-LAW 1937-14).

CHRISTINE GOULET, CLERK

June 19, 2023

DRAFT