

Photo 1: Entrance from Dunn Drive.



Photo 2: Facing Northeast & Garage Location.



Photo 3: Facing North.



5. Notice Circulation and Public Consultation

Notice of the application was posted at the Municipal Office; mailed to property owners within 60 metres of the subject property, notice provided to the Ministry of Natural Resources and Forestry, and the Northwestern Health Unit; posted on the Municipal website; provided to appropriate Department Heads and required organizations. A copy of the notice is attached to this report.

As of June 30th, 2023, no concerns were raised regarding the application.

6. Zoning By-Law

Section 3.2(g) states:

Accessory buildings and structures shall not exceed 4.5 metres in height, except for permitted accessory dwelling units over an accessory use, in which case such accessory building shall not exceed 6 metres in height. The heights of garden suites, and guest cabins are governed by Section 3.3 of this By-Law.

8. Background, Analysis and Conclusion

A Zoning By-Law Amendment was approved on June 19th, 2023, permitting an increase in size of a secondary dwelling and reducing the setback from the highwater mark to 20 metres. Through the previous application process the height of the accessory building was not identified and otherwise would have been included in the original application. The accessory building does not exceed the height of the main dwelling. Based on the location and grade of the property the additional height does not impede sightlines or create a safety concern.

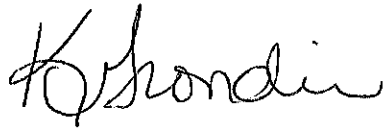
The application process provides applicants the opportunity to request relief from the above noted section of the Zoning By-Law. The application is consistent with other uses in the surrounding area. Approval of the application would permit the accessory building to be 8.23 metres at the centre of the roof.

9. Recommendation

The proposed Zoning By-Law Amendment is permissible; the location and landscape of the property should be considered; the larger secondary dwelling is desirable and provides much needed housing in our community; and the proposed rezoning is keeping within the intent of the Zoning By-Law.

A copy of a Draft Zoning By-Law Amendment is attached to this report, which includes the details of the amendment, its purpose and effect.

It is recommended that the Planning Advisory Committee support the proposed amendment and recommend that Council adopt the Zoning By-Law Amendment, attached as Appendix 3.



Kristina Grondin
Planning Coordinator

Attachments:

- Appendix 1: Notice of Application and Public Meeting
- Appendix 2: Complete Application for Zoning By-Law Amendment
- Appendix 3: Draft Zoning By-Law Amendment



June 26th, 2023

NOTICE OF COMPLETE APPLICATION AND PUBLIC MEETING FOR MINOR VARIANCE TO THE ZONING BY-LAW FILE NUMBER D13-23-02

Planning Act, R.S.O.1990 C.p.13, S.45 (1)

At the date and location below, the Municipality of Red Lake Committee of Adjustment will be hearing comments on an application for Minor Variance, described as follows.

LOCATION AND PROPERTY DESCRIPTION:

14 Dunn Drive, Red Lake. Please refer to the location sketch below.

PURPOSE AND EFFECT:

Request relief from Section 3.2(g) of the Zoning By-Law to increase the maximum height of an accessory building, with a secondary dwelling above, from 6m to 8.23m.

OTHER APPLICATIONS:

None at this time.

ADDITIONAL INFORMATION: Complete application for the proposed Minor Variance is available for inspection at the Municipal Office.

PUBLIC HEARING: You are entitled to attend the public hearing in person to express your views about this application or you may submit written comments to be read by the Committee at the hearing. If you wish to make written comments on this application, they may be forwarded to the secretary of the Committee at the address below. If you are aware of any person interested in or affected by this application who has not received a copy of this notice you are requested to inform that person of this hearing.



FAILURE TO ATTEND HEARING: If you do not attend the hearing it may proceed in your absence and, except as otherwise provided in the *Planning Act*, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION: A copy of the decision of the Committee will be sent to the applicant and to each person who appeared in person or by council at the hearing and who has filed with the secretary a written request to receive the notice of decision.

DATE AND TIME OF HEARING: Tuesday, July 11th, 2023, 5:00 p.m.

PLACE AND ADDRESS: Council Chambers of the Municipal Office at 2 Fifth Street, Balmertown.

MAILING ADDRESS: Secretary of the Committee of Adjustment for The Corporation of the Municipality of Red Lake. P.O. Box 1000, Balmertown, ON P0V 1C0.

Personal information that may accompany a submission will be collected under the authority of the Planning Act and may form part of the public record which may be released to the public.

If you may have any questions, please contact the Planning Department by calling (807) 735-2096, or by Email: kristina.grondin@redlake.ca



FILE NUMBER
DB-23-02

MUNICIPALITY OF RED LAKE APPLICATION FOR MINOR VARIANCE TO THE ZONING BY-LAW

Planning Act, R.S.O. 1990, c. P.13, s. 45
O. Reg. 200/96, Schedule

APPLICATION FEE ENCLOSED – \$300.00

THE INFORMATION IN THIS APPLICATION AND ALL OTHER INFORMATION, STUDIES, REPORTS AND COMMENTS RECEIVED RELATIVE TO THE PROCESSING OF THIS APPLICATION IS COLLECTED FOR THE PURPOSE OF CREATING A RECORD THAT IS AVAILABLE TO THE GENERAL PUBLIC.

NAME OF OWNER Kirk Green Amanda McFadden		NAME OF AGENT, SOLICITOR OR PLANNING CONSULTANT (IF APPLICABLE)	
ADDRESS 33 Lake Dr. Red Lake	POSTAL BOX ON	STREET ADDRESS	POSTAL BOX
POSTAL/ ZIP CODE PO 2M0	PROV./ STATE Box 1403	POSTAL/ ZIP CODE	PROV./ STATE
TELEPHONE 807-727-7592 807-728-3006		TELEPHONE	
EMAIL amanda-mcfadden@hotmail.com		EMAIL	
DOES ANY OTHER PARTY HAVE INTEREST IN THE PROPERTY, SUCH AS CHARGE, MORTGAGE, OR EASEMENT? no			
PLEASE PROVIDE THE NAMES AND ADDRESSES FOR THESE PARTIES n/a			

PROPERTY INFORMATION:

LEGAL DESCRIPTION OF THE SUBJECT LAND, SUCH AS MINING PLAN DESCRIPTION, REGISTERED PLAN AND LOT OR PART NUMBERS CL 5654 Dome Designated as PT 1 23R 7843: PT Mining Claim K1454 Dome Designated as PT 1 23R 11582: PT location CL 3455 as PT 6 23R 11582	
STREET ADDRESS AND TOWN SITE NAME 14 Dunn Drive, Red Lake PIN: 42009-2456	

DIMENSIONS OF SUBJECT LAND		
Frontage (metres): Approx 273.701 m	Depth (metres): 47.366m - 135.76m	Area (hectares): 1.009 ha

CURRENT DESIGNATION WITHIN THE RED LAKE OFFICIAL PLAN Townsite Residential	CURRENT ZONING WITHIN THE ZONING BY-LAW Rural Residential
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OFFICIAL PLAN – HAS A SITE SPECIFIC DESIGNATION BEEN APPLIED, AND IF SO, WHAT LAND USES ARE PERMITTED OR NOT PERMITTED?
No

ZONING BY-LAW – HAS SITE SPECIFIC ZONING BEEN APPLIED, AND IF SO, WHAT LAND USES ARE PERMITTED OR NOT PERMITTED?
Yes R4-B to permit main dwelling and detached garage to be built no less than 20m from high water mark and increased secondary dwelling size.

DATE SUBJECT LAND WAS ACQUIRED ON:

January 7, 2002

WHAT IS THE EXISTING USE OF THE PROPERTY? WHAT IS THE LENGTH OF TIME THIS USE HAS OCCURRED?

Vacant

EXISTING USE OF ABUTTING PROPERTIES

Rural Residential zone. West side developed with a dwelling. East side is vacant.

PROPOSAL INFORMATION:

RELIEF - NATURE AND EXTENT OF RELIEF FROM THE ZONING BY-LAW :

Section 3.2(g) states accessory building with secondary dwelling shall not exceed 6m. Proposed building is 8.23 m. at centre

WHY CAN THE PROPOSED USE NOT COMPLY WITH THE ZONING BY-LAW?

High side walls to permit 10 foot garage doors.

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND.

FOR EXAMPLE, PLEASE SPECIFY THE GROUND FLOOR AREA, GROSS FLOOR AREA, NUMBER OF STOREYS, WIDTH, LENGTH, HEIGHT, ETC.

EXISTING:

N/A

PROPOSED:

Dwelling 2832 sqft 19.8m x 9.1m 2 Storeys Detached garage 1536 sqft 14.6m x 9.7m 2 Storeys

HAS ANY OWNER PREVIOUSLY APPLIED FOR MINOR VARIANCE IN RESPECT OF THE SUBJECT PROPERTY? YES NO

NO

IF YES, PLEASE PROVIDE THE FILE NUMBER AND DECISION IF GIVEN:

STORM DRAINAGE is provided to the subject land by:

Sewers

Ditches

Swales

Other means (specify)

Natural

SEWAGE DISPOSAL is or will be provided to the subject land by:

Publicly-owned/operated sewage system

Pit privy

Privately-owned/operated individual septic system

Other means (specify)

Privately-owned/operated communal septic system

*Properties to be serviced by private sewage systems will require a preliminary soils inspection. It is the responsibility of the applicant to arrange an inspection with the Northwestern Health Unit.

*If the requested amendment would permit development on privately owned and operated individual or communal sewage system, and more than 4500 litres of effluent would be produced per day as a result of the proposed development, a servicing options report and a hydrogeological report must be provided.

POTABLE WATER is or will be provided to the subject land by:

- Publicly-owned/operated piped water system
- Privately-owned/operated individual well
- Privately-owned/operated communal well

- Lake or other water body
- Other means (specify)

OTHER APPLICATIONS – if known, indicate if the subject land is or will be the subject of an application under the Act for:

- approval of a plan of subdivision (under section 51) File Status

If Yes please describe in detail:

- consent (under section 53) File Status

If Yes please describe in detail:

- previous application (under section 34) File D14-23-03 Status Approved - Appeal

If Yes please describe in detail: Reduce setback from Highwater mark to 20m Increase secondary dwelling size. period ends July 12/23

Are you aware of any Planning Act Applications within currently being proposed for any properties within 120 metres of the subject property?

NO

ACCESS – Access to the subject land will be by:

- Provincial Highway
- Year round maintained Municipal road
- Private road
- Seasonally maintained Municipal road
- Right-of-way
- Water

WATER ACCESS – Where access to the subject land is by water only:

NIA

Docking facilities (specify).....
 distance from subject land
 distance from nearest public road

Parking facilities (specify).....
 distance from subject land
 distance from nearest public road

EXISTING BUILDINGS AND STRUCTURES – Provide the following information for all buildings and structures. Attach a separate page if necessary.

TYPE - NIA Front lot line setback: Height in metres.....

DATE CONSTRUCTED Rear lot line setback: Dimensions:

Side lot line setback: Floor Area:

Side lot line setback:

TYPE - NIA Front lot line setback: Height in metres.....

DATE CONSTRUCTED Rear lot line setback: Dimensions:

Side lot line setback: Floor Area:

Side lot line setback:

PROPOSED BUILDINGS AND STRUCTURES – Provide the following information for all buildings and structures. Attach a separate page if necessary.

TYPE - <u>House</u>	Front lot line setback: <u>21m</u>	Height in metres: <u>9.1m</u>
	Rear lot line setback: <u>19m</u>	Dimensions: <u>19.8m x 9.1m</u>
	Side lot line setback: <u>73m</u>	Floor Area: <u>2032 sq.ft</u>
	Side lot line setback: <u>73m</u>	
TYPE - <u>Garage</u>	Front lot line setback: <u>33m</u>	Height in metres: <u>8.23m centre</u>
	Rear lot line setback: <u>48m</u>	Dimensions: <u>14.6m x 9.7m</u>
	Side lot line setback: <u>26m</u>	Floor Area: <u>1536 sq.ft</u>
	Side lot line setback: <u>26m</u>	

What is the expected type and volume of waste to be produced on the subject land? How will this waste be managed or treated?

Grey water (sinks) as a result of indoor plumbing private septic

Black water (toilet) as a result of indoor plumbing private septic

Food wastes Domestic Waste - curbside

Recyclable household wastes (plastic, glass, aluminum) Paper, Plastic, aluminum - curbside

Building hardware wastes (treated wood, shingles, metal) During construction - Landfill

CHECK AS APPLICABLE:

Does the Owner own any adjoining property? Yes No

If Yes please describe in detail: _____

Is there any reason to believe that the site may be environmentally contaminated? Yes No

If Yes please describe in detail: _____

Has an industrial or commercial use been on or adjacent to the property? Yes No

If Yes please describe in detail: _____

Has lot grading been changed by adding or removing earth or other material? Yes No

Has the Ministry of the Environment or any other ministry advised the owners that the property is or may be contaminated? Yes No

If Yes please describe in detail: _____

Are there any known Natural Heritage values existing on the site? Yes No

DATE SUBJECT LAND WAS ACQUIRED ON: January 7, 2022

ARE THE MINERAL RIGHTS CROWN OR PATENTED? Patented Mining Claim

ARE THERE ANY RESERVATIONS ON THE PATENT OR TITLE OF THE SUBJECT LOCATION? No

IF FRONTED BY WATER, IS THE SHORELINE RESERVE PATENTED OR CROWN LAND? IF CROWN, HOW WIDE IS THE RESERVATION? Owned

Is there any other information that you think may be useful to the Municipality in reviewing this Application for Minor Variance? If so, explain below or attach a separate page with this information.

Secondary Dwellings are permitted. Allowing the proposed height increase will provide a more desirable secondary dwelling and will provide for a more versatile garage.

SITE PLAN SKETCH:

PLEASE TAKE TIME TO PROVIDE A GOOD SKETCH.

PRINT CLEARLY. IT SHOULD DISPLAY THE FOLLOWING INFORMATION TO THE BEST OF YOUR KNOWLEDGE:

- Prepared on letter paper, overtop of a photocopy of the survey is ideal. For a more detailed or larger scaled sketch, you may provide a second page.
- North arrow, scale and legend
- The boundaries of the owner's property and dimensions
- The boundaries of the property subject to the application including area and dimensions if different from above
- The location, dimensions (height, length, and width) and type of all **existing** and **proposed** buildings and structures on the subject land, indicating the distance of the buildings or structures from other buildings and from the front yard line, rear yard line and the side yard lot lines.
- The location or proposed location of any sewage disposal systems, including pit privies, grey water, or septic systems
- The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, transmission lines, roads, watercourses, slopes, drainage ditches, river or stream banks, wetlands, wooded areas, and wells
- The existing use(s) of lands on adjacent properties (i.e. residential, automotive repair, retail)
- The proposed development, including the area and dimensions of any new lots to be created, the size and location of buildings, parking spaces, landscaping, amenity areas, etc.
- As applicable - fire access route, outdoor equipment and storage, walkway, curbing, fencing
- Existing municipal infrastructure immediately adjacent to the site (roads, lane, sidewalks, existing entrances, boulevard trees, fire hydrants, hydro poles, easements, etc.)
- The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right-of-way.
- If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- The location and nature of any easements affecting the subject land.

AUTHORIZATION OF THE OWNER FOR AN AGENT TO MAKE APPLICATION

I/We the undersigned, being the owner of the subject land, hereby authorize
to be the applicant in the submission of this application. This application has been submitted with my/our full knowledge and endorsement.

Signature of 1st Owner or Signing Officer

Signature of Witness

Signature of 2nd Owner or Signing Officer

Date

AFFIDAVIT OR SWORN DECLARATION FOR THE PRESCRIBED INFORMATION

I/We, _____ of the _____ of
(Municipality/ City)
_____ in the _____ of _____
(Province)

solemnly declare that the statements and any maps or plans submitted with this application are true, and I/We make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue and provided by me are true and I make this solemn of the Canada Evidence Act.

Sworn (or declared) before me at the _____ of _____

in the _____ of _____

This _____ day of _____, _____.

Commissioner for Taking Affidavits

1st Owner/ Signing officer/ Authorized Agent

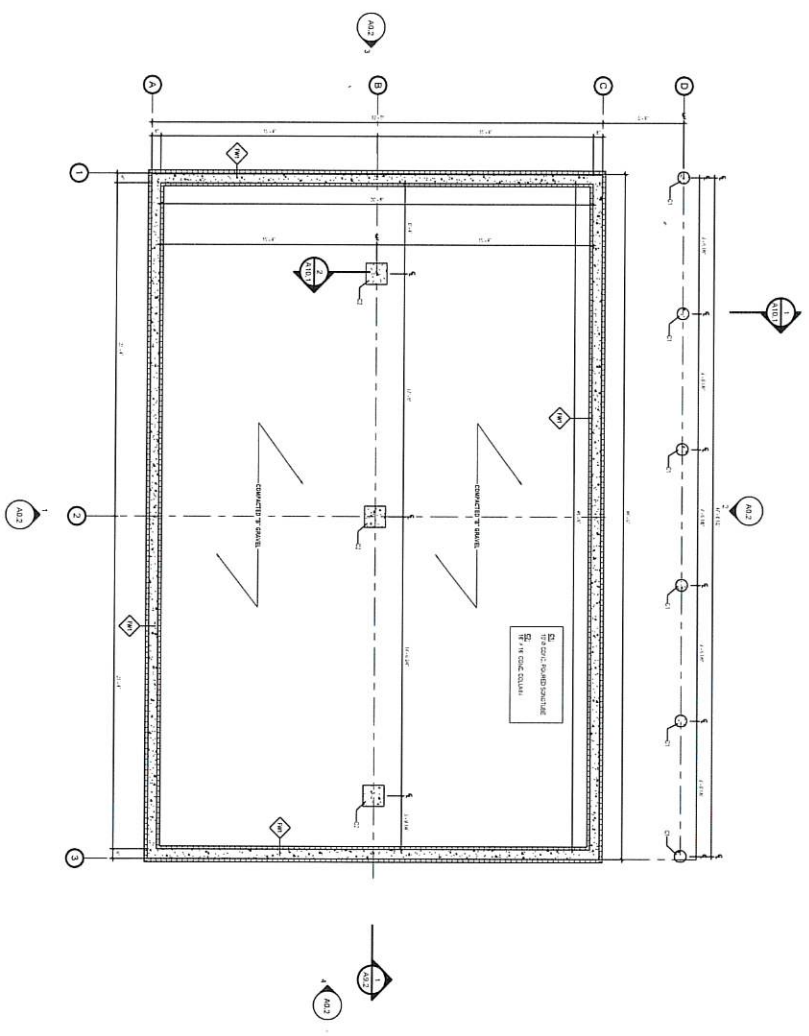
Affix commissioner stamp here:

2nd Owner/ Signing officer/ Authorized Agent

This section for Red Lake Municipal office use only:

Date complete application received: _____

1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



WALL LEGENDS

- REINFORCED CONCRETE WALL**
WALL THICKNESS IS 16" UNLESS OTHERWISE NOTED.
- CONCRETE TIE WALL**
WALL THICKNESS IS 16" UNLESS OTHERWISE NOTED.
- FOUNDATION**
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GENERAL NOTES

1. ALL CONSTRUCTION TO COMPLY WITH THE ONTARIO BUILDING CODE 2012 REGULATIONS HAVING JURISDICTION.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & CONSTRUCTION.
3. ALL CONSTRUCTION TO BE CARRIED OUT WITH FULL COMPLIANCE TO PERFORM A MINIMUM ALL OPERATING PROCEDURES ARE TO COMPLY WITH THE CURRENT OCCUPATIONAL CONSTRUCTION PRODUCTS FOR ONTARIO AS WELL AS THE CONSTRUCTION HEALTH & SAFETY ASSOCIATION OF ONTARIO.
4. DO NOT SCALE DRAWINGS.
5. PRODUCTS, EQUIPMENT & MATERIALS INCORPORATED INTO THE WORK SHALL BE NEW, NOT DAMAGED OR DEFECTIVE & OF THE BEST PRACTICE (ENTER SPECIFICATIONS) FOR THE TRADESPERSONS ONLY.
6. ALL WORK TO BE PERFORMED BY QUALIFIED TRADESPERSONS ONLY.
7. CONTRACTORS TO VERIFY ALL DIMENSIONS, COORDINATE ON HER ARCHITECTURAL DRAWINGS & SPECIFICATIONS AND RESOLVE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
8. DESIGNER IS NOT RESPONSIBLE FOR ANY PROBLEMS, CONSTRUCTION DEFICIENCIES, PROBLEMS, CONSTRUCTION DEFICIENCIES.

NO.	Description	Date

Project: Garage
14 Dunn Dr. Red Lake, ON

FOUNDATION PLAN

Project number: 23-005

Date: 06/02/2023

Drawn by: JN

Checked by: MO

Scale: A3.1 As indicated

NORTHWEST TIMBER MART

18 ROAD STREET, RED LAKE, ON CANADA P2M 1M9
TEL: (705) 769-2222 FAX: (705) 769-2223
WWW.NORTHWESTTIMBERMART.COM

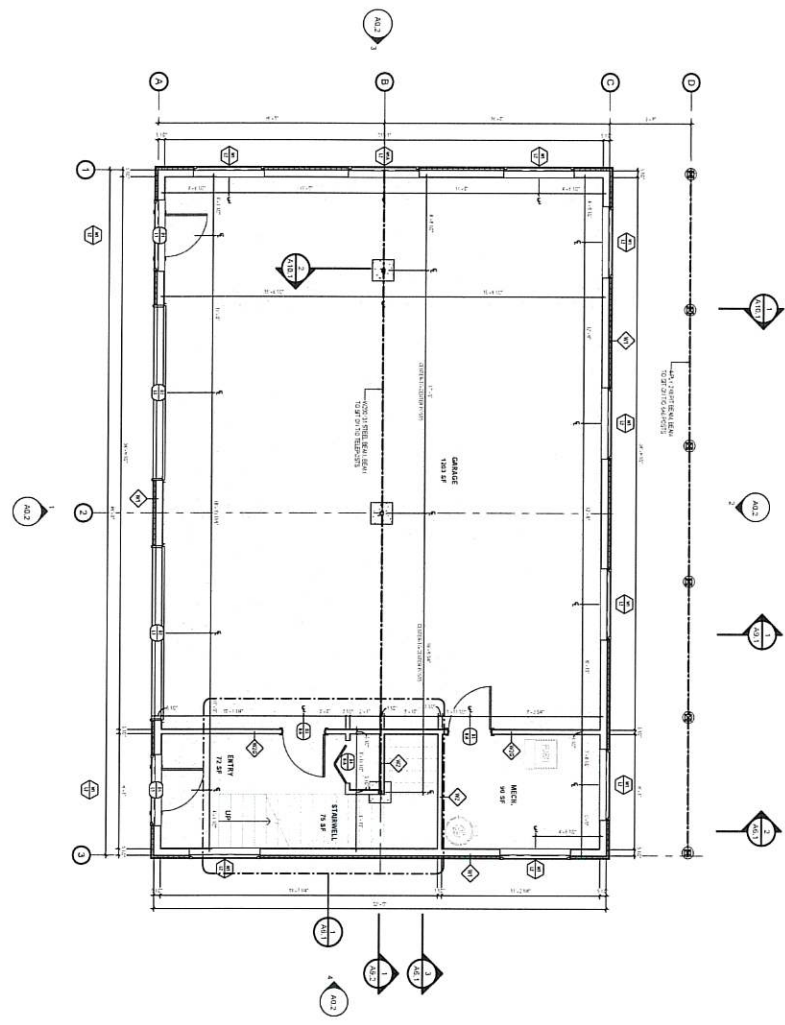
THE UNDERSIGNED HAS DESIGNED AND I HAVE ACCEPTED RESPONSIBILITY FOR HIS DESIGN AND HAS THE QUALITY OF THE DESIGN AND THE QUALITY OF THE CONSTRUCTION OF THE BUILDING TO BE A RESPONSIBLE DESIGNER.

RECORDED UNDER THE REGISTRY ACT UNDER DIVISION 12 OF THE ONTARIO BUILDING CODE 2012

Michael Chaves 603070786 4614
JN 1801

GENERAL: RESOURCES STARTED DRAWINGS BASED ON BLUE PRINTS. ALL MATERIALS AND FINISHES TO BE AS SHOWN IN THE DRAWINGS UNLESS OTHERWISE INDICATED.

1 MF - T/O SLAB
SCALE: 1/4" = 1'-0"



WALL LEGENDS

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GENERAL NOTES

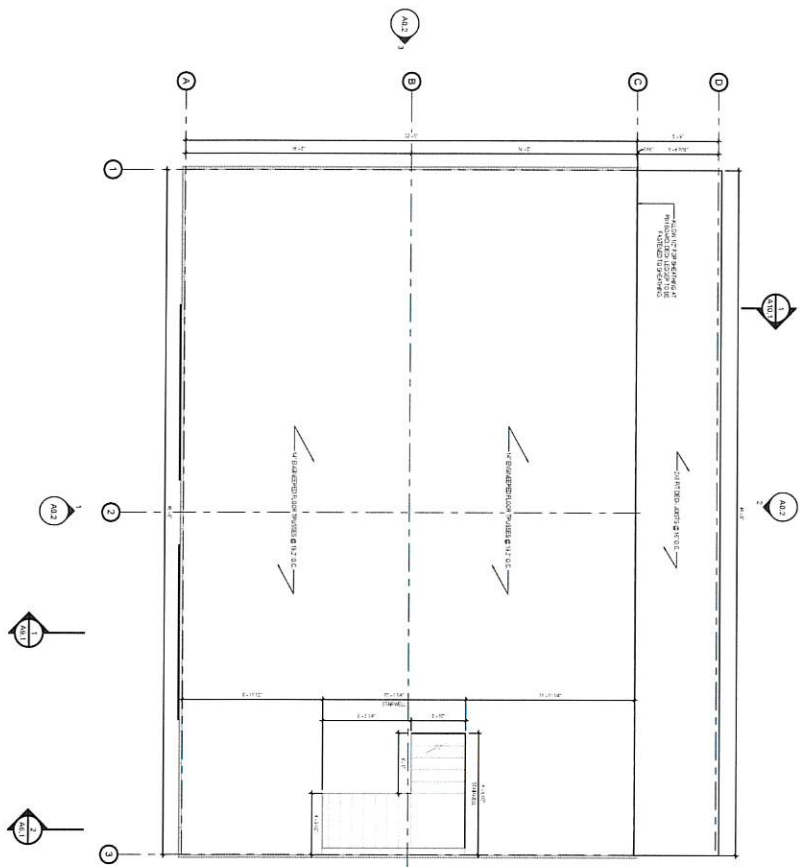
1. ALL CONSTRUCTION TO COMPLY WITH THE ONTARIO BUILDING CODE 2012 REGULATIONS HAVING JURISDICTION.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.
3. ALL CONSTRUCTION TO BE CARRIED OUT WITH FULL COMMITMENT TO PERSONAL SAFETY. ALL OPERATING PROCEDURES ARE TO COMPLY WITH THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT AND REGULATIONS AS WELL AS THE CONSTRUCTION HEALTH & SAFETY ASSOCIATION OF ONTARIO.
4. DO NOT SCALE DRAWINGS.
5. PRODUCTS, EQUIPMENT & MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY (AS PER SPECIFICATIONS) FOR THE PURPOSES INTENDED.
6. ALL WORK TO BE PERFORMED BY QUALIFIED TRADESPERSONS ONLY.
7. CONTRACTOR TO VERIFY ALL DIMENSIONS, SPECIFICATIONS AND RESOLVE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
8. DESIGNER IS NOT RESPONSIBLE FOR ANY MATERIAL OR DESIGN CHANGE THAT DEVIATES FROM THE ORIGINAL DRAWINGS.

NORTHWEST
TIMBER MART
1170 KING STREET WEST, SUITE 100, CANADIAN JAM
WWW.NORTHWESTTIMBERMART.COM

No.	Description	Date

Project:	Garage
Address:	14 Dunn Dr. Red Lake, ON
Floor:	MAIN FLOOR
Project number:	23-005
Date:	06/02/2023
Drawn by:	JN
Checked by:	MO
Scale:	A4.1
As indicated:	

FLOOR LAYOUT IS PROVISIONAL ONLY.
 CONTRACTOR TO FOLLOW TRUSS MFR. LAYOUT.



1 UF - FRAMING
 SCALE: 1/4" = 1'-0"

THE UNDERSIGNED DESIGNER AND I/WE
 HEREBY CERTIFY THAT I/WE ARE A REGISTERED PROFESSIONAL ENGINEER AND HAVE THE
 NECESSARY EDUCATION, TRAINING AND EXPERIENCE TO DESIGN AND SUPERVISE THE
 CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN. I/WE HAVE REVIEWED THE
 DRAWINGS AND SPECIFICATIONS AND AM/WE ARE NOT PROVIDING ANY SERVICES
 OUTSIDE THE SCOPE OF MY/OUR PROFESSIONAL ENGINEERING LICENSE.
 I/WE HAVE REVIEWED THE DRAWINGS AND SPECIFICATIONS AND AM/WE ARE NOT PROVIDING ANY SERVICES
 OUTSIDE THE SCOPE OF MY/OUR PROFESSIONAL ENGINEERING LICENSE.
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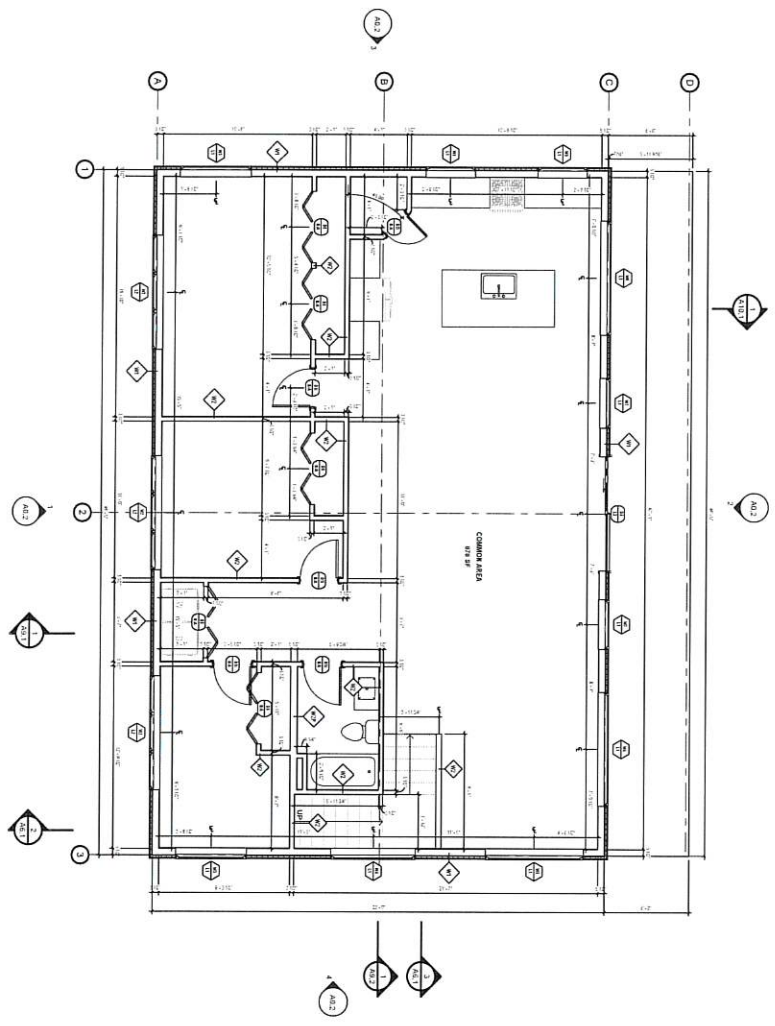
GENERAL NOTES

1. ALL CONSTRUCTION TO COMPLY WITH THE MINIMUM REQUIREMENTS OF THE CANADIAN BUILDING CODE 2012 AND ALL APPLICABLE REGULATIONS AND BY-LAWS. CONTRACTOR TO VERIFY ALL DIMENSIONS & COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.
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4. DO NOT SCALE DRAWINGS.
5. PROVIDOR'S EQUIPMENT & MATERIALS TO BE PROVIDED BY CONTRACTOR TO BE SHOWN IN SCHEDULE. CONTRACTOR TO VERIFY ALL DIMENSIONS & COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.
6. ALL WORK TO BE PERFORMED BY QUALIFIED TRADESPERSONS ONLY.
7. CONTRACTOR TO VERIFY ALL DIMENSIONS, SPECIFICATIONS AND RESOLVE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
8. DESIGNER IS NOT RESPONSIBLE FOR ANY CHANGES TO THE CONSTRUCTION DRAWINGS FROM FINAL CONSTRUCTION DRAWINGS.

No.	Description	Date

Project:	Garage
Project name:	14 Dunn Dr. Red Lake ON
Project number:	23-005
Date:	06/02/2023
Drawn by:	JN
Checked by:	MO
Scale:	1/4" = 1'-0"

1 UF - T/O SUBFLR
SCALE: 1/4" = 1'-0"



WALL LEGENDS

1. 1/2" GYPSUM BOARD ON 2x4 STUDS
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9. 1/2" GYPSUM BOARD ON 2x4 STUDS
10. 1/2" GYPSUM BOARD ON 2x4 STUDS

GENERAL NOTES

1. ALL CONSTRUCTION TO COMPLY WITH THE ONTARIO BUILDING CODE 2012 REGULATIONS HAVING JURISDICTION.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.
3. ALL CONSTRUCTION TO BE CARRIED OUT WITH FULL COMPLIANCE TO PERSONAL PROTECTIVE EQUIPMENT (PPE) REQUIREMENTS. MINIMUM ALL OPERATING PROCEDURES ARE TO COMPLY WITH THE CURRENT OCCUPATIONAL CONSTRUCTION PRODUCTS FOR ONTARIO AS WELL AS THE CONSTRUCTION HEALTH & SAFETY ASSOCIATION OF ONTARIO.
4. DO NOT SCALE DRAWINGS.
5. PRODUCTS, EQUIPMENT & MATERIALS TO BE USED SHALL BE OF THE HIGHEST QUALITY AS PER SPECIFICATIONS & OF THE BEST MANUFACTURE AVAILABLE.
6. ALL WORK TO BE PERFORMED BY QUALIFIED TRADESPERSONS ONLY.
7. CONTRACTOR TO VERIFY ALL DIMENSION, SPECIFICATIONS AND RESOLVE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
8. DESIGNER IS NOT RESPONSIBLE FOR ANY MATERIAL OR DESIGN CHANGE THAT DERIVES FROM THE CONSTRUCTION DRAWINGS.

NORTHWEST
TIMBER MART
10 TORONTO STREET, MISSISSAUGA, ON CANADA L4W 1M1
WWW.NORTHWESTTIMBERMART.COM

No.	Description	Date

Project: Garage
14 Dunn Dr. Red Lake, ON

UPPER FLOOR

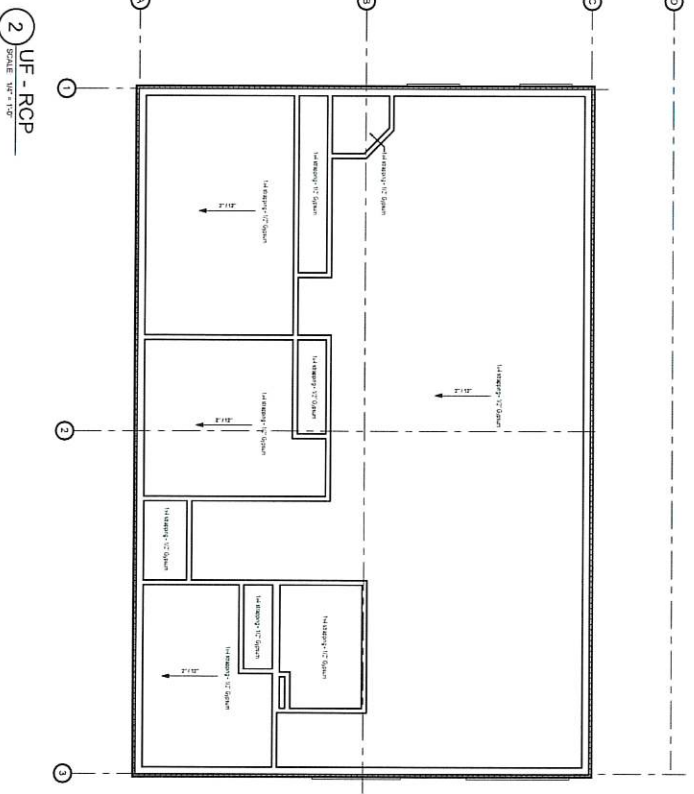
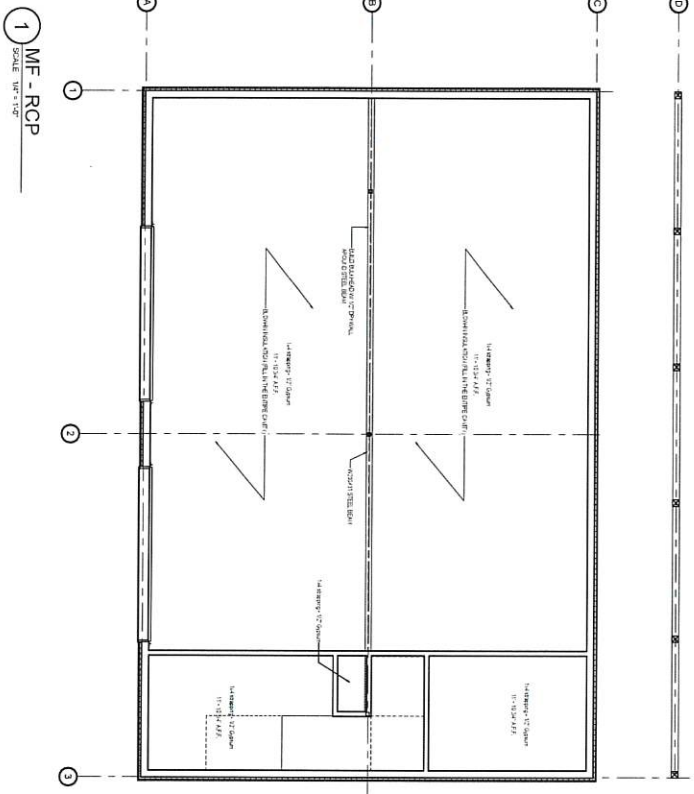
Project number: 23-005

Date: 06/02/2023

Drawn by: JN

Checked by: MO

Scale: A5.2
As indicated



1 MF - RCP
SCALE: 1/4" = 1'-0"

2 UF - RCP
SCALE: 1/4" = 1'-0"

NORTHWEST
TIMBER MART™

16 YORK STREET, FELLOW, ON, CANADA M9T 1A7
WWW.DRAWINGSTIMBERMART.COM

THE DESIGNER HAS REVIEWED AND MADE RESPONSIBLE FOR HIS DESIGN AND THE QUALITY OF HIS WORK. THE DESIGNER IS NOT RESPONSIBLE FOR THE DESIGN OR THE QUALITY OF THE WORK OF OTHER PROFESSIONALS OR FOR THE DESIGN OR THE QUALITY OF THE WORK OF OTHER PROFESSIONALS WHOSE WORK IS REFERENCED IN THIS DRAWING.

DESIGNER: NORTHWEST TIMBER MART
PROJECT: 14 DUMM DR. RED LAKE, ON
DATE: 06/02/2023
DRAWN BY: JN
CHECKED BY: MO

GENERAL NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH THE ONTARIO BUILDING CODE 2012 REGULATIONS HAVING JURISDICTION.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.
3. ALL CONSTRUCTION TO BE CARRIED OUT WITH FULL COMPLIANCE TO PERSONAL MINIMUM ALL OPERATING PROCEDURES ARE TO COMPLY WITH THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT AND REGULATIONS AS WELL AS THE CONSTRUCTION HEALTH & SAFETY ASSOCIATION OF ONTARIO.
4. DO NOT SCALE DRAWINGS.
5. PRODUCTS, EQUIPMENT & MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY (AS PER SPECIFICATIONS) FOR THE TRADE INDUSTRY.
6. ALL WORK TO BE PERFORMED BY QUALIFIED TRADE PERSONNEL ONLY.
7. CONTRACTOR TO VERIFY ALL DIMENSION, COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION, SPECIFICATIONS AND RESOLVE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
8. DESIGNER IS NOT RESPONSIBLE FOR ANY PROVISIONS OR CONDITIONS THAT DEVIATE FROM THE ONTARIO BUILDING CODE.

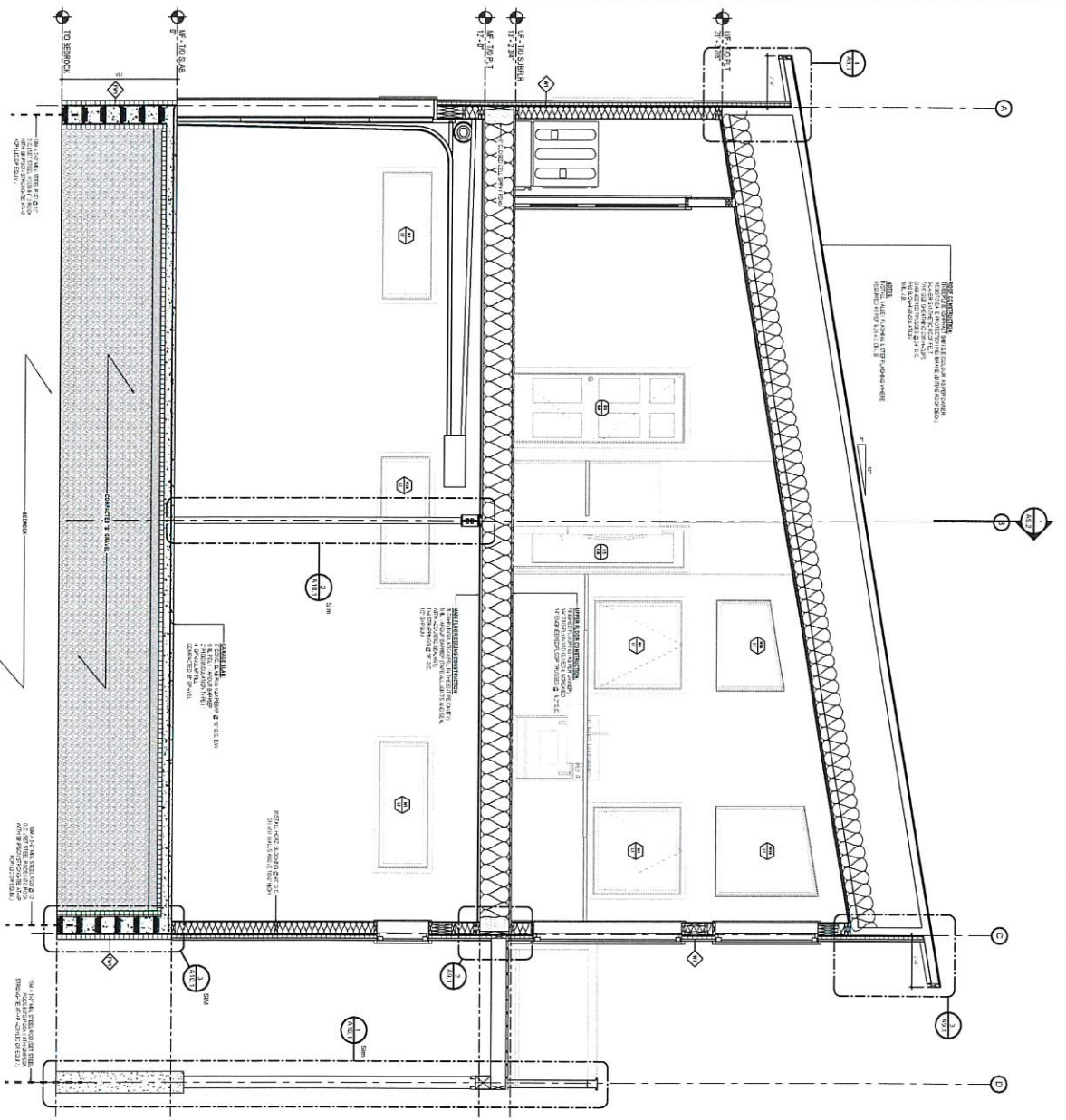
No.	Description	Date

Project: Garage
14 Dumm Dr. Red Lake, ON

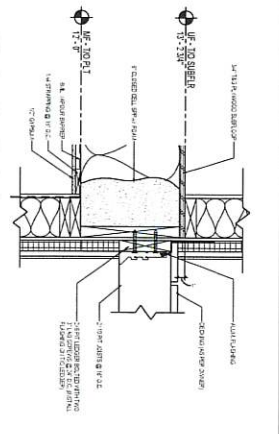
REFLECTED CEILING PLAN

Project number: 23-005
Date: 06/02/2023
Drawn by: JN
Checked by: MO

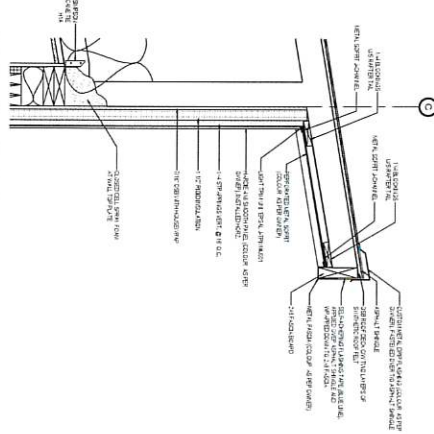
Scale: A7.1
1/4" = 1'-0"



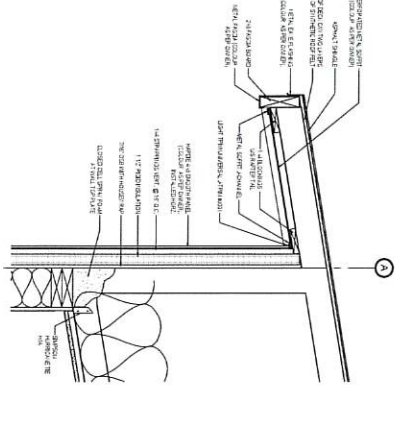
1 Section 5
SCALE: 1/2" = 1'-0"



2 Section 5 - Callout 1
SCALE: 1/2" = 1'-0"



3 Section 5 - Callout 1
SCALE: 1/2" = 1'-0"



4 Section 5 - Callout 1
SCALE: 1/2" = 1'-0"

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR HIS DESIGN AND THE QUALITY OF HIS WORK AND THE CONSTRUCTION OF THE GARAGE BUILDING SHOWN IN THE DRAWINGS TO BE A RESIDENTIAL GARAGE BUILDING AS DEFINED IN THE ONTARIO BUILDING CODE, 2012 (O.B.C.) AND THE ONTARIO FIRE CODE, 2012 (O.F.C.) OF THE ONTARIO BUILDING CODE, 2012 (O.B.C. & O.F.C.).

DESIGNER'S SIGNATURE: [Signature]

DATE: 06/02/2023

PROJECT: 14 Dunn Dr., Red Lake, ON

NORTHWEST
TIMBER MART

1470 ROAD 101, RED LAKE, ON CANADA P2M 1M6
WWW.NORTHWESTTIMBERMART.COM

GENERAL NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, 2012 (O.B.C.) AND ALL REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
3. ALL CONSTRUCTION TO BE CARRIED OUT IN ACCORDANCE WITH THE O.B.C. & O.F.C. AS APPLICABLE.
4. ALL OPERATING PROCEDURES ARE TO BE IN ACCORDANCE WITH THE O.B.C. & O.F.C. AS APPLICABLE.
5. ALL WORK TO BE PERFORMED BY QUALIFIED TRADESPERSONS ONLY.
6. CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS AND RESOLVE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
7. DESIGNER IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS FROM FINAL CONSTRUCTION DRAWINGS.
8. DO NOT SCALE DRAWINGS.
9. PROJECTS EQUIPMENT & MATERIALS INCORPORATED IN THE WORK SHALL BE NEW, NOT DAMAGED OR DEFECTIVE, & OF THE BEST PURPOSE INTENDED.

No.	Description	Date

Project: Garage
14 Dunn Dr., Red Lake, ON

SECTIONS

Project number: 23-005

Date: 06/02/2023

Drawn by: JIN

Checked by: MO

Scale: A9.1
As indicated



THE CORPORATION OF THE MUNICIPALITY OF RED LAKE

BY-LAW No. XX-2023

BEING A BY-LAW TO AMEND BY-LAW NO. 1930-14 WHICH REGULATES THE USE OF LAND, CHARACTER AND LOCATION OF BUILDINGS, AND STRUCTURES IN THE MUNICIPALITY OF RED LAKE

WHEREAS the Official Plan of the Corporation of the Municipality of Red Lake was approved by the Minister of Municipal Affairs on October 22, 2015; and,

WHEREAS the Municipality is in receipt of an application for a zoning by-law amendment and has administered a public meeting in accordance with the Planning Act, R.S.O, 1990; and,

WHEREAS Council deems it advisable to amend By-Law No. 1930-14 in accordance within the provisions of Section 34 of the Planning Act, Chapter P13, R.S.O. 1990;

NOW THEREFORE the Council of The Corporation of the Municipality of Red Lake hereby **ENACTS AS FOLLOWS:**

SECTION 1 – Application

- 1.1 This By-Law shall apply to property located at 14 Dunn Drive, Red Lake on lands described legally as location CL5654 Dome designated as PT 1 23R7843; PT Mining Claim K1454 Dome Designated as PT 1 23R11582; PT Location CL3455 Dome Designated as PT 6 23R11582.
- 1.2 A location sketch identified as “Schedule A” is attached hereto and forms part of this By-Law. The property subject to this amendment of the Zoning By-Law is shown as “Subject Location”.

SECTION 2 – Purpose and Effect

- 2.1 By-Law No. 1930-14 is hereby amended insofar as it applies to the permitted uses and regulations of lands shown on Schedule A-1 Townsite of Red Lake.

The purpose of this By-Law is to change the regulated zoning classification for the lands from the Rural Residential (R4) Zone to the Rural Residential Exception (R4-13).

SECTION 3 – Amendment

- 3.1 Certain regulations are hereby amended by adding the following new section after the sub-section entitled “R4-12 Zone: 12 Pickerel Drive”:

R4-13 Zone: 14 Dunn Drive

Notwithstanding any other provision of this By-Law to the contrary, the following provisions shall apply to lands zoned R4-13:

- (i) Minimum Setback from High Watermark for a main dwelling and detached garage: 20 m.
- (ii) Net floor area of the secondary dwelling unit shall not exceed 145 m².
- (iii) Maximum height of an accessory building, with a permitted secondary dwelling unit, shall not exceed 8.23 metres from the centre of the roof.

SECTION 4 – Conformity

In all other respects the provisions of By-law 1930-14 shall continue to apply.

THAT By-Law No. 54-2023 here is by repealed.

THAT this By-Law shall come into force and take effect upon the final passing thereof.

READ a FIRST and SECOND TIME this 17th day of July, 2023.

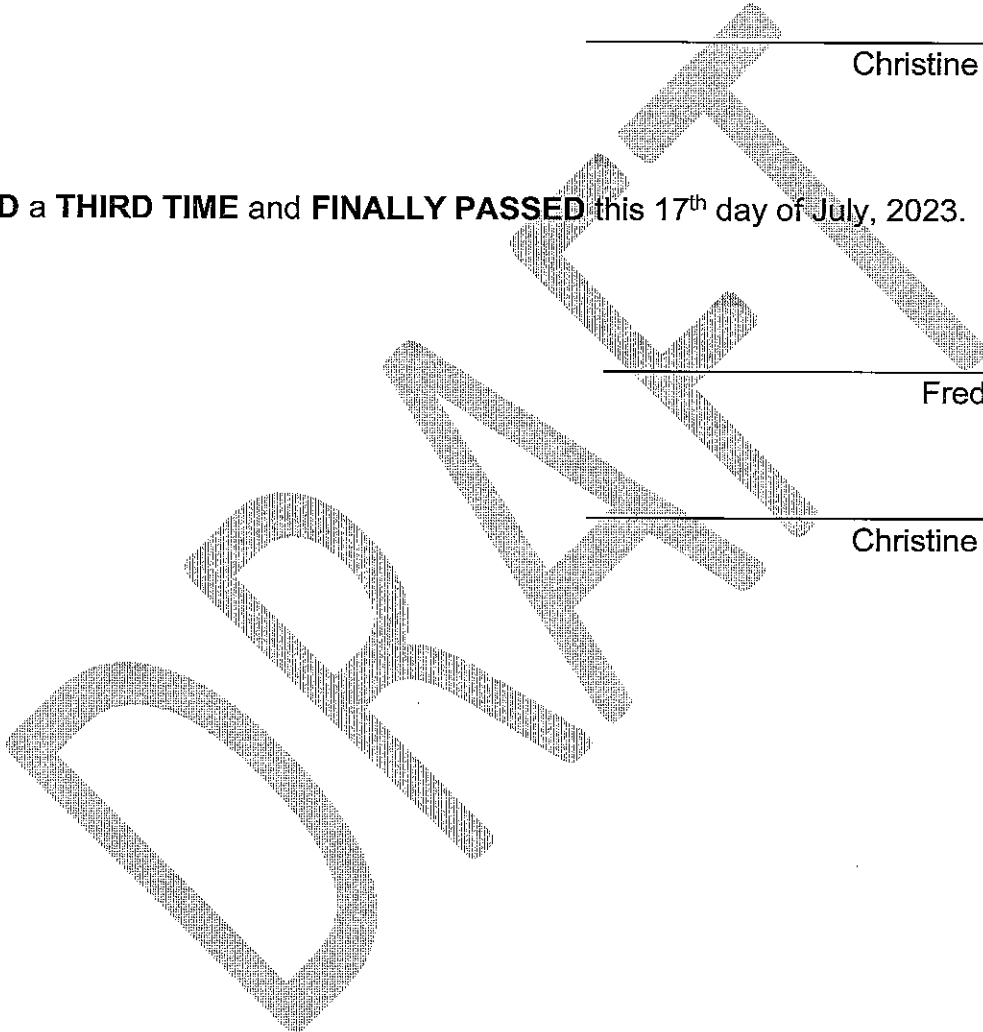
Fred Mota, Mayor

Christine Goulet, Clerk

READ a THIRD TIME and FINALLY PASSED this 17th day of July, 2023.

Fred Mota, Mayor

Christine Goulet, Clerk



SCHEDULE A

14 Dunn Drive, Red Lake
PT 1 23R7843; PT Mining Claim K1454 Dome Designated as PT 1 23R11582; PT
Location CL3455 Dome Designated as PT 6 23R11582



Municipality of Red Lake
KEY MAP
By-Law No. XX-2023



SCHEDULE B

STATEMENT OF CONFORMITY TO THE OFFICIAL PLAN
FOR THE MUNICIPALITY OF RED LAKE (BY-LAW 1937-14)

I, CHRISTINE GOULET, CLERK OF THE MUNICIPALITY OF RED LAKE, HAVE REVIEWED BY-LAW NO. XX-2023 OF THE MUNICIPALITY OF RED LAKE, AND I AM OF THE OPINION THAT THIS BY-LAW IS IN CONFORMITY WITH THE OFFICIAL PLAN FOR THE MUNICIPALITY OF RED LAKE (BY-LAW 1937-14).

CHRISTINE GOULET, CLERK

July 17, 2023

DRAFT