

THE MUNICIPALITY OF RED LAKE

Municipal Office - 2 Fifth Street - P.O. Box 1000 Balmertown, Ontario P0V 1C0

PLANNING DEPARTMENT STAFF REPORT

TO:

Mark Vermette (CAO)

DATE: June 30th, 2023

Committee of Adjustment (COA)

FROM:

Kristina Grondin, Planning Coordinator

FILE:

D13-23-02

SUBJECT:

Application for Minor Variance: 14 Dunn Drive, Red Lake

1. Description of the Subject Property and Area

This application pertains to 14 Dunn Drive, Red Lake. A location sketch is provided below.

The property is zoned Rural Residential Exception (R4-13) and designated Rural Residential. The area of the property is 1.009 ha, with waterfrontage of approximately 273.7 metres. The property is currently vacant.

Location Sketch:



2. Application Description

The applicant is requesting relief from Section 3.2(g) to increase the maximum height of an accessory building, with a secondary dwelling, from 6 metres to 8.23 metres at the centre of the roof.

3. Photos

Pictures below were taken on June 9th, 2023.

Photo 1: Entrance from Dunn Drive.





Photo 2: Facing Northeast & Garage Location.





Photo 3: Facing North.





5. Notice Circulation and Public Consultation

Notice of the application was posted at the Municipal Office; mailed to property owners within 60 metres of the subject property, notice provided to the Ministry of Natural Resources and Forestry, and the Northwestern Health Unit; posted on the Municipal website; provided to appropriate Department Heads and required organizations. A copy of the notice is attached to this report.

As of June 30th, 2023, no concerns were raised regarding the application.

6. Zoning By-Law

Section 3.2(g) states:

Accessory buildings and structures shall not exceed 4.5 metres in height, except for permitted accessory dwelling units over an accessory use, in which case such accessory building shall not exceed 6 metres in height. The heights of garden suites, and guest cabins are governed by Section 3.3 of this By-Law.

8. Background, Analysis and Conclusion

A Zoning By-Law Amendment was approved on June 19th, 2023, permitting an increase in size of a secondary dwelling and reducing the setback from the highwater mark to 20 metres. Through the previous application process the height of the accessory building was not identified and otherwise would have been included in the original application. The accessory building does not exceed the height of the main dwelling. Based on the location and grade of the property the additional height does not impede sightlines or create a safety concern.

The application process provides applicants the opportunity to request relief from the above noted section of the Zoning By-Law. The application is consistent with other uses in the surrounding area. Approval of the application would permit the accessory building to be 8.23 metres at the centre of the roof.

9. Recommendation

The proposed Zoning By-Law Amendment is permissible; the location and landscape of the property should be considered; the larger secondary dwelling is desirable and provides much needed housing in our community; and the proposed rezoning is keeping within the intent of the Zoning By-Law.

A copy of a Draft Zoning By-Law Amendment is attached to this report, which includes the details of the amendment, its purpose and effect.

It is recommended that the Planning Advisory Committee support the proposed amendment and recommend that Council adopt the Zoning By-Law Amendment, attached as Appendix 3.

Khondin

Kristina Grondin Planning Coordinator

Attachments:

• Appendix 1: Notice of Application and Public Meeting

• Appendix 2: Complete Application for Zoning By-Law Amendment

• Appendix 3: Draft Zoning By-Law Amendment



NOTICE OF COMPLETE APPLICATION AND PUBLIC MEETING FOR MINOR VARIANCE TO THE ZONING BY-LAW FILE NUMBER D13-23-02

Planning Act, R.S.O.1990 C.p.13, S.45 (1)

At the date and location below, the Municipality of Red Lake Committee of Adjustment will be hearing comments on an application for Minor Variance, described as follows.

LOCATION AND PROPERTY DESCRIPTION:

14 Dunn Drive, Red Lake. Please refer to the location sketch below.

PURPOSE AND EFFECT:

Request relief from Section 3.2(g) of the Zoning By-Law to increase the maximum height of an accessory building, with a secondary dwelling above, from 6m to 8.23m.

OTHER APPLICATIONS:

None at this time.

ADDITIONAL INFORMATION: Complete application for the proposed Minor Variance is available for inspection at the Municipal Office.

PUBLIC HEARING: You are entitled to attend the public hearing in person to express your views about this application or you may submit written comments to be read by the Committee at the hearing. If you wish to make written comments on this application, they may be forwarded to the secretary of the Committee at the address below. If you are aware of any person interested in or affected by this application who has



not received a copy of this notice you are requested to inform that person of this hearing.

FAILURE TO ATTEND HEARING: If you do not attend the hearing it may proceed in your absence and, except as otherwise provided in the *Planning Act*, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION: A copy of the decision of the Committee will be sent to the applicant and to each person who appeared in person or by council at the hearing and who has filed with the secretary a written request to receive the notice of decision.

DATE AND TIME OF HEARING: Tuesday, July 11th, 2023, 5:00 p.m.

PLACE AND ADDRESS: Council Chambers of the Municipal Office at 2 Fifth Street, Balmertown.

MAILING ADDRESS: Secretary of the Committee of Adjustment for The Corporation of the Municipality of Red Lake. P.O. Box 1000, Balmertown, ON P0V 1C0.

Personal information that may accompany a submission will be collected under the authority of the Planning Act and may form part of the public record which may be released to the public.

If you may have any questions, please contact the Planning Department by calling (807) 735-2096, or by Email: kristina.grondin@redlake.ca



☐ APPLICATION FEE ENCLOSED - \$300.00

FILE NUMBER

MUNICIPALITY OF RED LAKE APPLICATION FOR MINOR VARIANCE TO THE ZONING BY-LAW

Planning Act, R.S.O. 1990, c. P.13, s. 45 O. Reg. 200/96, Schedule

THE INFORMATION IN THIS APPLICATION AND ALL OTHER INFORMATION THE PROCESSING OF THIS APPLICATION IS COLAVAILABLE TO THE GENERAL PUBLIC.	ORMATION, STUDIES, REPORTS AND COMMENTS RECEIVED LECTED FOR THE PURPOSE OF CREATING A RECORD THAT IS
NAME OF OWNER Kirk Green Amanda M Fadden	NAME OF AGENT, SOLICITOR OR PLANNING CONSULTANT (IF APPLICABLE)
33 Lake Dr. Red Lake ON	STREETADDRESS POSTAL BOX
POSTAL/ZIP CODE PROV./STATE POV 2MO BOX 1403	POSTAL/ ZIP CODE PROV./ STATE
TELEPHONE	TELEPHONE
EMAIL 121-1592 801-128-3006	EMAIL
Signature and	AS CHARGE, MORTGAGE, OR EASEMENT?
PLEASE PROVIDE THE NAMES AND ADDRESSES FOR THESE PARTIES	3
n a	
PROPERTY INFORMATION: LEGAL DESCRIPTION OF THE SUBJECT LAND, SUCH AS MINING PLAN	DESCRIPTION DESCRIPTION DIAMAND LOT OF PART NUMBERS
	23R 7843: PT Mining Claim K1454
	: PT location CL3455 as PT6 23R 11582
14 Dunn Drive, Red Lake	PIN: 42009-2456
DIMENSIONS OF SUBJECT LAND Frontage (metres): Depth (metres):	Area (hectares):
Approx 273,701m 47.366m-	135.76m 1.009 ha
CURRENT DESIGNATION WITHIN THE RED LAKE OFFICIAL PLAN	CURRENT ZONING WITHIN THE ZONING BY-LAW
OFFICIAL PLAN - HAS A SITE SPECIFIC DESIGNATION BEEN APPLIED,	AND IF SO, WHAT LAND USES ARE PERMITTED OR NOT PERMITTED?
N6	
ZONING BY-LAW – HAS SITE SPECIFIC ZONING BEEN APPLIED, AND IF	SO, WHAT LAND USES ARE PERMITTED OR NOT PERMITTED?
YES R4-B to permit main	
to be built no less than Nom	from Righ water mark and

DATE SUBJECT LAND WAS ACQUIRED ON:
GCOG, Traunal
WHAT IS THE EXISTING USE OF THE PROPERTY? WHAT IS THE LENGTH OF TIME THIS USE HAS OCCURRED?
Vacant
EXISTING USE OF ABUTTING PROPERTIES
Rural Residential zone. West side developed with
a dwelling. East side is vacant.
PROPOSAL INFORMATION:
RELIEF - NATURE AND EXTENT OF RELIEF FROM THE ZONING BY-LAW:
Section 32(g) states accessary building with secondary
dwelling shall not exceed lom. Proposed building is 8.23 m. at centre
WHY CAN THE PROPOSED USE NOT COMPLY WITH THE ZONING BY-LAW?
High side walls to permit 10 foot garage doors.
PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND. FOR EXAMPLE, PLEASE SPECIFY THE GROUND FLOOR AREA, GROSS FLOOR AREA, NUMBER OF STOREYS, WIDTH, LENGTH, HEIGHT, ETC.
EVICENIUS A
EXISTING: NIA
PROPOSED: Dwelling 2832 saft Detached garage 1536 saft
19.8m × 9.1m) 2 Storeys J 2 Storeys 14.6m×97m
HAS ANY OWNER PREVIOUSLY APPLIED FOR MINOR VARIANCE IN RESPECT OF THE SUBJECT PROPERTY? YES (NO)
IF YES, PLEASE PROVIDE THE FILE NUMBER AND DECISION IF GIVEN:
STORM DRAINAGE is provided to the subject land by:
Sewers Ditches Swales Other means (specify) Natural
SEWAGE DISPOSAL is or will be provided to the subject land by:
☐ Publicly-owned/operated sewage system ☐ Pit privy
Privately-owned/operated individual septic system
☐ Privately-owned/operated communal septic system
*Properties to be serviced by private sewage systems will require a preliminary soils inspection. It is the responsibility of the applicant to arrange an inspection with the Northwestern Health Unit.
*If the requested amendment would permit development on privately owned and operated individual or communal sewage system, and more than 4500 litres of effluent would be produced per day as a result of the proposed development, a servicing options report and a hydrogeological report must be provided.

POTABLE WATER is or will be provided to the	subject land by:
Publicly-owned/operated piped water syste	Lake or other water body
Privately-owned/operated individual well	Other means (specify)
Privately-owned/operated communal well	
OTHER APPLICATIONS – if known, indicate if the	he subject land is or will be the subject of an application under the Act for:
☐ approval of a plan of subdivision (under sect	ion 51) File Status
If Yes please describe in detail:	
consent (under section 53)	File Status
If Yes please describe in detail:	
previous application (under section 34)	status Approved - Appeal Setback from High water mark to 20m Period ends
If Yes please describe in detail: KICLUL	setback from Highwatermark to 20m Period ends secondary dwelling size.
Are you aware of any Planning Act Applications	within currently being proposed for any properties within 120 metres of the subject property?
ACCESS – Access to the subject land will be by:	
Provincial Highway	Seasonally maintained Municipal road
Year round maintained Municipal road	Right-of-way
Private road	Water
WATER ACCESS - Where access to the subject	t land is by water only: NIA
Docking facilities (specify)	Parking facilities (specify)
distance from subject land	distance from subject land
distance from nearest public road	distance from nearest public road
EVICTING BUILDINGS AND STRUCTURES	TO THE OLD CHEET AND ADDRESS OF THE OLD CHEET
•	Provide the following information for all buildings and structures. Attach a separate page if necessary.
TYPE - NIA	Front lot line setback: Height in metres
DATE CONSTRUCTED	Rear lot line setback: Dimensions:
	Side lot line setback: Floor Area:
. 11.0	Side lot line setback:
TYPE - N/A	Front lot line setback: Height in metres.
DATE CONSTRUCTED	Rear lot line setback: Dimensions:
	Side lot line setback: Floor Area:
	Side lot line setback:

PROPOSED BUILDINGS AND STRUCTURES	 Provide the following information for all buildings and 	structures. Attach	n a separate page	if necessary.
TYPE-House	Front lot line setback: 21 m			
	Side lot line setback:73.m.			
	Side lot line setback: 3.m.			0
TYPE-Garage	Front lot line setback:33m		8.23 n	centre
J	Rear lot line setback: 48m			
	Side lot line setback: 26m			
	Side lot line setback: Q.C.M			70

	waste to be produced on the subject land? Ho		•	
	plumping private septic			
Black water (toilet) as a result of indoor	plumping private septic	·		
Food wastes Domestic_	waste - curbside		171	
Recyclable household wastes (plastic, g	glass, aluminum) <u>Poper, Plasti</u> c	-, alum	inum-	<u>Curbside</u>
Building hardware wastes (treated wood	d, shingles, metal) During Const	ruction	-Lanfil	<u> </u>
	J		***************************************	
CHECK AS APPLICABLE:				
Does the Owner own any adjoining prope	erty?		☐ Yes	<u>u</u> No
If Yes please describe in detail:		·		
Is there any reason to believe that the sit	e may be environmentally contaminated?		☐ Yes	□ No
If Yes please describe in detail:				
Has an industrial or commercial use been	n on or adjacent to the property?		□ Yes	No
If Yes please describe in detail:			· · · · · · · · · · · · · · · · · · ·	
Has lot grading been changed by adding	or removing earth or other material?		Yes	□ No
Has the Ministry of the Environment or a	ny other ministry advised the owners that the	property is or a	-	
			□ Yes	⊡ ⁄No
If Yes please describe in detail:				
Are there any known Natural Heritage values	s existing on the site?		Yes □	□ NQ
DATE SUBJECT LAND WAS ACQUIRED ON:	7000	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		
ARE THE MINERAL RIGHTS CROWN OR PATE	January 1,3032	0.1		
ARE THERE ANY RESERVATIONS ON THE PA	TENT OR TITLE OF THE SUBJECT LOCATION?	Clain		
IF FRONTED BY WATER, IS THE SHORELINE I	RESERVE PATENTED OR CROWN LAND? IF CROW	N, HOW WIDE IS	THE RESERVA	TION?
Owned				

s there any other information that you think may be useful to the Municipality in reviewing this Application for Minor Variance? If so, explain below or attach a separate page with this information.
Secondary Dwellings are permitted. Allowing the proposed height increase will provide a move desireable secondary
height increase will provide a move desireable secondary
dwelling and will provide for a more versitile garage.
SITE PLAN SKETCH:

PLEASE TAKE TIME TO PROVIDE A GOOD SKETCH.

PRINT CLEARLY. IT SHOULD DISPLAY THE FOLLOWING INFORMATION TO THE BEST OF YOUR KNOWLEDGE:

- Prepared on letter paper, overtop of a photocopy of the survey is ideal. For a more detailed or larger scaled sketch, you may provide a second page.
- North arrow, scale and legend
- The boundaries of the owner's property and dimensions
- The boundaries of the property subject to the application including area and dimensions if different from above
- The location, dimensions (height, length, and width) and type of all **existing** and **proposed** buildings and structures on the subject land, indicating the distance of the buildings or structures from other buildings and from the front yard line, rear yard line and the side yard lot lines.
- The location or proposed location of any sewage disposal systems, including pit privies, grey water, or septic systems
- The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, transmission lines, roads, watercourses, slopes, drainage ditches, river or stream banks, wetlands, wooded areas, and wells
- The existing use(s) of lands on adjacent properties (i.e. residential, automotive repair, retail)
- The proposed development, including the area and dimensions of any new lots to be created, the size and location of buildings, parking spaces, landscaping, amenity areas, etc.
- As applicable fire access route, outdoor equipment and storage, walkway, curbing, fencing
- Existing municipal infrastructure immediately adjacent to the site (roads, lane, sidewalks, existing entrances, boulevard trees, fire hydrants, hydro poles, easements, etc.)
- The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right-of-way.
- If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- The location and nature of any easements affecting the subject land.

AUTHORIZATION OF THE OWNER F	OR AN AGENT TO MAKE APPLICATION
I/We the undersigned, being the owner of the subject land, he to be the applicant in the submission of this application. This endorsement.	ereby authorizeapplication has been submitted with my/our full knowledge and
Signature of 1 st Owner or Signing Officer	Signature of Witness
Signature of 2 nd Owner or Signing Officer	Date
AFFIDAVIT OR SWORN DECLARATION	N FOR THE PRESCRIBED INFORMATION
l/We,	of the of of
in the	of
oath and by virtue and provided by me are true and I make th	I knowing that it is of the same force and effect as if made under is solemn of the Canada Evidence Act.
	of
in the of	
This, day of,	·
Commissioner for Taking Affidavits	1 st Owner/ Signing officer/ Authorized Agent
Affix commissioner stamp here:	
	2 nd Owner/ Signing officer/ Authorized Agent
This section for Red Lake Municipal office use only:	
Date complete application received:	

CONSTRUCTION NOTES

1.4L FOOTINSS TO BE PLACED ON UNDSTITUBED SOIL U.N.O. ALL FOOTINSS OF PRESENTED WOOD FOUNDATIONS TO BE FLACED ON UNIL S GENALLAR DRAINAGE BED (CRUSHED ROCK). ALL FOOTINGS TO BE FLACED ON UNDSTUTUBED SOIL UNIO. ALL FOOTINGS OF PRESENTED WOOD ON UNDSTUTUBED SOIL UNIO. ALL FOOTINGS OF PRESENTED WOOD CRUSHED ROCK).

3. WALL SHEATHING TO BE 7/16" OSB SHEATHING CW TYVEK AIR BARRIER OF EQUIVALENT I FOOTINGS AND FOUNDATIONS ARE DESIGNED FOR ALLOWABLE BEARNO PRESUME OF PRAPA OR REPEATER AS PERFOUNDED BLAINAG CODE 2012 W. I. B. 1, I. F. ELD REVIEW OF SUBSURFACE CONDITIONS IMPLICATIONS FROUNDAMMER CONDITIONS SHALL BE MEETIGATED BY MEBIGAATIONS PROJECT OC CONSTRUCTION.

5. ALL PRE-ENGINEERED FLOOR TRUSSES TO BE DESIGNED FOR LIVE LOAD DEFLECTION U720. 4. ALL PRE-ENGINEERED TRUSSES, BEAMS, POSTS AND LINTELS SHALL BE DESIGNED BY A FEGISTERED PROFESSIONAL ENGINEER IN ACCORDANCE WITH LOCAL BUILDING CODES.

THUSS SPACING GREATER THAN 15" O.C. W. CERAMIC, MARBLE, CONCRETE TOPPING ETC. SHALL BE DESIGNED BY A PROFESSIONAL LICENSED ENGINEER

63. PROVIDE DIMENSIONAL FRAMING SQUASH BLOCKS ON EACH SIDE OF FLOOR TRUSSES BELOW CONCENTRATED LOADS

7. RODE SHEATHNG 12" PLYWOOD W/ H-CLIPS OR EQUIVALENT. PROVIDE (2) HURRICANE CLIPS & TOE NUL PER TRUSS AT EACH TOP PLATE LOCATION OR AS PER TRUSS MFG RECOMMENDATION. B. ALL FRAMING OF LOAD BEARS WALLS, LINTELS, PORTS AND BEARS SHALL BE OF CONSTRUCTION UPPACE SPROUT DAYS ALL UMBERS IS AS LIVERY USE MATERIALS ONLY PROVIDE FIRE STOP MATERIAL UMBALS. IN LIVERY WE MATERIALS ONLY PROVIDE FIRE STOP MATERIAL WALLS. HOWER THAN STOT AS RECOUPT O. DS. OS. PROVIDE FOR BOTTOM PACKES IN CONTACT THAN STOT AS RECOURDED. SHOWING THE SOUTH CONCRETE FOUNDATIONS OR PROVIDE GASHET AS SECURED.

9. ACTUAL SIZE AND TYPE OF WINDOWS TO BE VERIFIED BY OWNER, UNIO. ALL WINDOW LINTELS 2-2X10 OR EQ. PRE-ENGINEERED LINTELS CW SPACERS AND TIGHTLY INSULATED DUPING THE FRAMING OR PRE-ENGINEERED LINTELS. TO BE VERIFIED BY MANUFACTURER.

PPORT.

ELECTRICAL & MECHANICAL:

ID FLASHING SHALL BE PROVIDED JADOIE AL EXTERIOR WINDOW & DOOR PÉRMINGS FLASHING SHALL AUS DE RINSTALLED BETWEEN THE UNDERSIDE OF THE WINDOW OF DOOR AND THE WALL CONSTRUCTION BELOW, EXCEPT WHERE THE SILLS OF WINDOWS & DOORS ARE SELF-FUASHING, IN

11. PROVIDE SOLID BLOCKING AT ALL TOILET, BATH AND SHOWER WALLS FOR FUTURE INSTALLATION OF GRAB BARS, TO BE VERIFIED BY OWNER,

3. GENERAL CONTRACTOR TO COORDINATE SWITCH & OUTLET REQUIREMENTS WITH OWNER. 2. NEW ELECTRICAL AND MECHANICAL SYSTEMS TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE AND ONTARIO HYDRO CODE. 1. GENERAL CONTRACTOR TO COORDINATE INSTALLATION OF MECHANICAL AND ELECTRICAL AS REQUIRED WITH MECHANICAL AND ELECTRICAL CONTRACTORS.

12. COMPRESSIVE STREMSTH OF CONCRETE AFTER 20 DAYS 0.8C, 9.3, 1.8 COMPRESSIVE STREMSTH OF CONCRETE AFTER 20 DAYS 0.8C, 9.3, 1.6 YEAR FOR CARRESSIVE STREMSTH OF CONCRETE AFTER 20 DAYS 0.8C, 9.3, 1.6 YEAR FOR CARRESSIVE STREMSTH OF EXPIRED AFTER 20 DAYS 0.8C, 9.3 YEAR FOR STREMSTH OF CONCRETE AFTER 20 DAYS 0.8C YEAR FOR ALL OTHER AFTELICATIONS IS MAY FOR ALL OTHER AFTELICATIONS.

ENERGY EFFICIENCY NOTES:

SERVICES RELATED TO OTHERS:

THEREMANT IS NOT RESPONSIBLE TO CONFIRM SUBSURFACE OR RODUND WATER OWNERING BERNING LAPACTOP OF SUL, REF. 100C 2011 SECTION A 12.2 SUBSURFACE INVESTIGATIONS AND RECIEVES '(1) A substitute investigation meaning by our wanter ownering. The substitute investigation meaning by our wanter ownering. The substitute is discribed at the recieve of the substitute of the substitut

THE OMFARD BALLDING CODE REQUIRES THAT ON OR ATTER JAN, 1 20 THE PROPORED MEY CONSTRUCTION MST CONSTRUCTION CONSTRUCTION MST CONSTRUCTION MST CONSTRUCTION CONSTRUCTION CONST

ADDITIONS TO EXISTING BUILDINGS SHALL COMPLY WITH CHAPTER 3 OF SB-12

ENERGY EFFICIENCY OF WINDOWS PURCHASED MUST MEET OR EXCEED MIN VALUES IN THE COMPLIANCE PACKAGE CHOSEN IN CHAPTER 3 TABLES OF SB-12

INSULATION AT ALL APPLICABLE CONSTRUCTION MUST BE AS PER ENERGY EFFICIENCY COMPLIANCE PACKAGE CHOSEN IN CHAPTER 3 TABLES OF SB-12

CHANGES TO MINDOWA MAY LIVAULE CHANGES TO PLANAGES TO DESCRIPTION AND LAUGHS OF INSULATIONAL THE CONSTRUCTION, AND CHANGES TO BERRAY EFFICIENCY OF SACCE HEATING CHANGES TO BERRAY EFFICIENCY OF SACCE HEATING OF THE AND CHANGES BE REACHED TO THE ATTENDIOUS OF THE PLANAGES BUILDER MAIST BRING ANY PROPOSED DEVALTORS REPORT THE CHANGES TO THE E.P. 1, 100 FS. 1,2 TO SECRETARY OF THE CHANGES AND THE CHANGES BUILDER AND SECRETARY THE SECRETARY BUILDER AND SECRETARY BUILDER BU

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17.64	686.00 ft ²		3893.00 ft ²		
	2	14.03 m		81.20 m	
		151 (4		874.00 ft ²	WEST
		12.36 m ³		78.04 m²	and in
		133 112		840.00 fr ⁴	NUIN S
		8.45 m²		78 87 m²	
		91 10		849.00 ft ²	HABON
		78.89 m		123 56 m²	500
		311 44		1330.00 ft ²	FAST
	TOTAL	AREA	TOTAL	AREA	WALL
% OF OPEN				XTEHIOR WALLS	3
	ESSMENT	DESIGN ASS	ENERGY EFFICIENCY DESIGN ASSESSMENT	EMER	

4. GENERAL CONTRACTOR TO COORDINATE LIGHTING FATURES WITH OWNER, OWNER TO SELECT LIGHTING FATURES, COLOURS A PREFEREND LOCATIONS, GENERAL CONTRACTOR TO CETERMINE REQUIRED DUMITTY & ACCEPTABLE FOOTCANDLES OF LIGHT FATURES. RADON IRAP DETAIL

14 DUNN DRIVE GARAGE





Table 3.1.1.1.A (IP)
ZONE 3. Compliance Packages for Space Heating Equipment with AFUE 2 02%.
Furnary Part of Sentence 3.1.1.3.(1)

Component	Therms Values ⁴⁵	A1	ž	Complain	Compliance Package A3 A4	_	2
A STATE OF THE STA	Mn. Nonna Rei	8 4	23	H+03	8 2	\perp	8 &
Colling with Altic Space	Max UP	0.017	0.020	910.0	0.017	1	
	Min ESpativo R≥	59.22	49 23	1988	59.22	23	4
	Man Normal Rife	31	31	31	31		Н
COMP WEARING	Max Un	0.035	9000	950.0	0.036	38	
open	Mn Effective Ra	27.65	27.65	23.65	2	27.66	4
	Mn. Nomeal Res	31	25	31		31	4
Expased Floor	Max Un	9034	0.001	HOU	0	0.034	Н
Total Crosses	Min Efective R*	29.83	22.02	29.60	12	29.60	9.60 29.80
	Min Notatol Rin	19+50	P 01 + 64	22+50	22	22 • 7 5 d	
Walls Above Grade	Max. U**	0.049	0.040	1100		0.042	Н
	Min Efective RIII	20.02	25.32	21,46	2	380	Н
201000000000000000000000000000000000000	Min Nominal RP	20 a	20 a	20 ci		200	200
Basement Water	Max UH	0.047	0,047	0,047	D	0.047	4
	Min Effective Rin	2112	21.12	21 12	22	21.12	
Below Grade Stati	Min. Nominal R/N	1	1	5	П	ī	4
Ective Surface > 600 mm	Max. Uni	1		0.163	П	1	0.000
Below Grade	Min Effective R×	1	-	613	П	1	- 11.13
Headed Stap or	Min Nummai Roa	10	10	10		10	
Sab 5 600 mm Below	Max U/F	0.000	0.990	0.090		0.090	
Grade	Min. Elicave Riv	11.13	11.13	1113		11.13	_
Eage of Balow Grade Slab & 659 mm Below Grade	Min. Notinal R11	10	10	10		10	
Windows and Siding	Max U ^{SI}	0.21	0.28	0.28		12.0	4
Gless Doors	Energy Pasing	H	25	25	П	34	34 29
Solghu	Max Un	0.49	67.0	69.0	П	0.49	
Врась Неадку Ецирпелі	Mr ASIE	838	86%	5.06		95%	%H %H6
型	Min SPE	81%	20%	65%		15%	
Distraction Water Houter(1)	Min. EF	0.70	0.50	0.50		67	67 0.67
Column 1	2	u		I.P.	٦	0	

In the Mark 1 (Mark 1

Effective Date: July 7, 2016 SB-12 · Page 37

Scale

Energy Efficiency Design Summary (Part 9 Residential)

Appendix for	For use of F	y Prencipal Authority Saucel estimates features		
A. Project Information				
12 Dunn Drive			RACHER	stan1
Red Lake	POV 2MO	The Practical and Practical Property from	E	
B. Compliance Option				

C. Project Design Conditions

Control (2008) September 1 - Conditions Conditi Take: Passage

*Alach energy performance colorations using an upproved software

*Alach Express From House must be abselted on completion by Energy Stat

*House must be evaluated by NRCan sensor and meet a raining of 100

b (edge very sittivers better guale)
b (ed Schimm below guale, or Peacod) R1D
Performance Design Verification (c Space Heating Equip.*
HIRV Efficiency (%)
DHW Heater (EF) HOTES

1 Provide Li-Value in Wild 26, or ER rating

2 Provide AFUE or Industries Companying (special foreign street) in the Company of the Co Bailding Component Efficiency Ratings
Windows & Doors
Windows Stding Glass Doors
Max. U 0 21 0.67

GENERAL NOTES:

NORTHWEST

TIMBER MART*

"I YOUGHER HED LIKE ON CHANGED AND
HOSE BETZELT IN A SETZELT IN AND STREET IN AND STREET

ORIGINAL DESIGNER STANFED DRAWINGS SIGNED IN BLUE DRAWN. V COPIES NOT VALID FOR OBTAINING FERMIT UNAUTHORIZED REPRODUCTION OF DRAWINGS IS PROHIBITED

REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV.C 3.2 OF THE ONT ARIO BUILDING CODE 2012

BCIN

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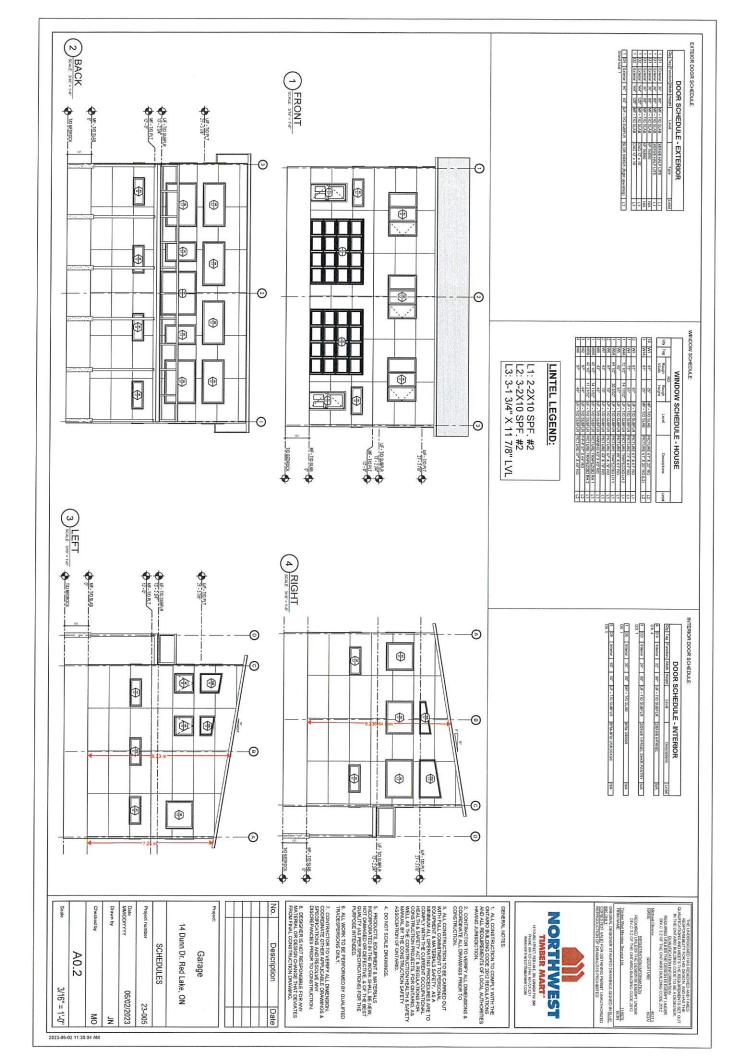
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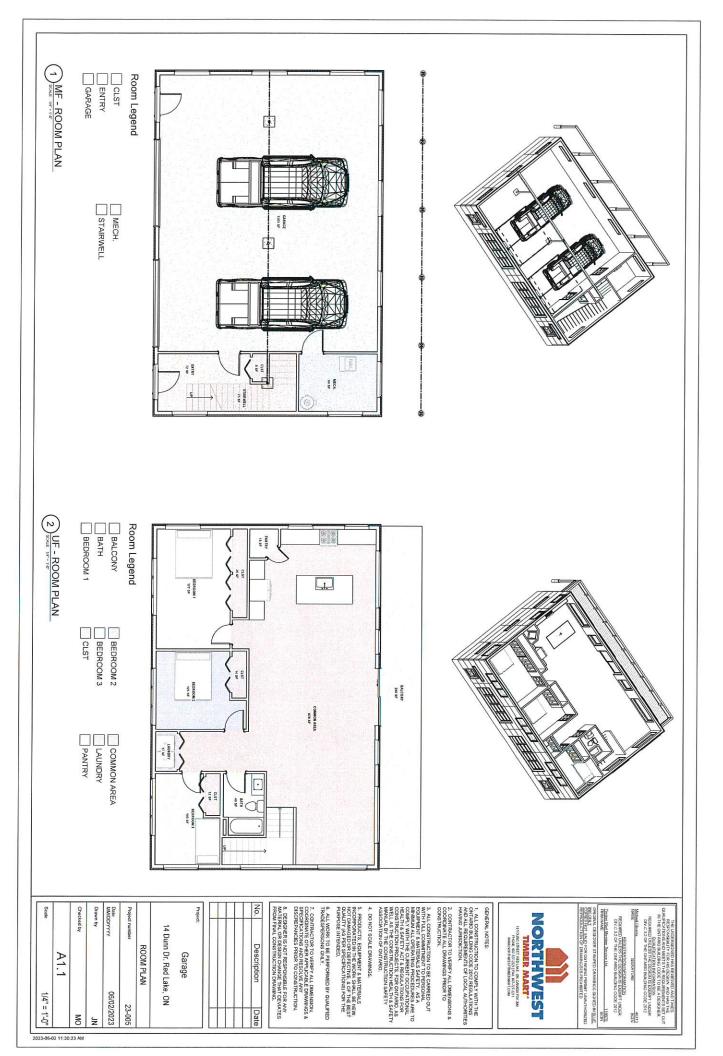
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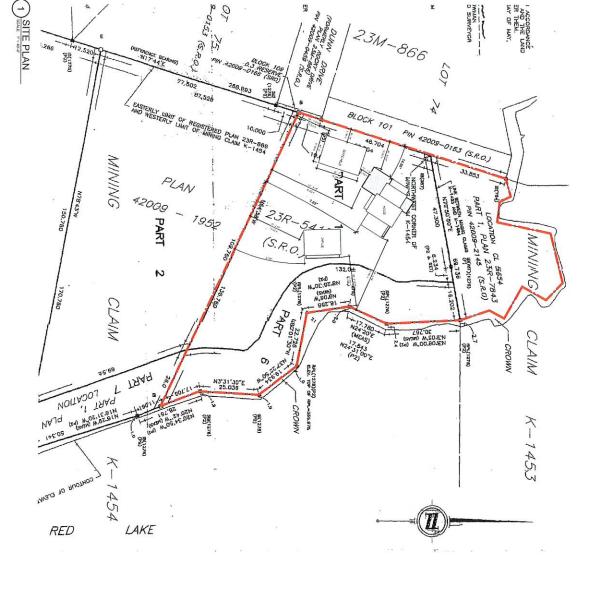
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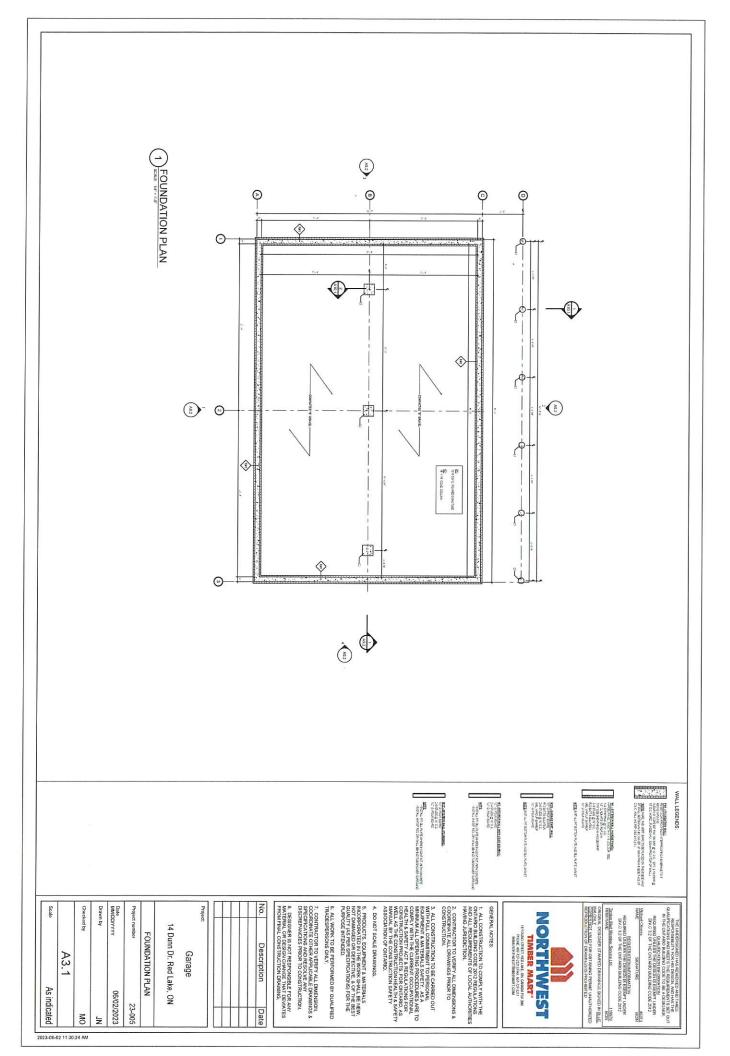
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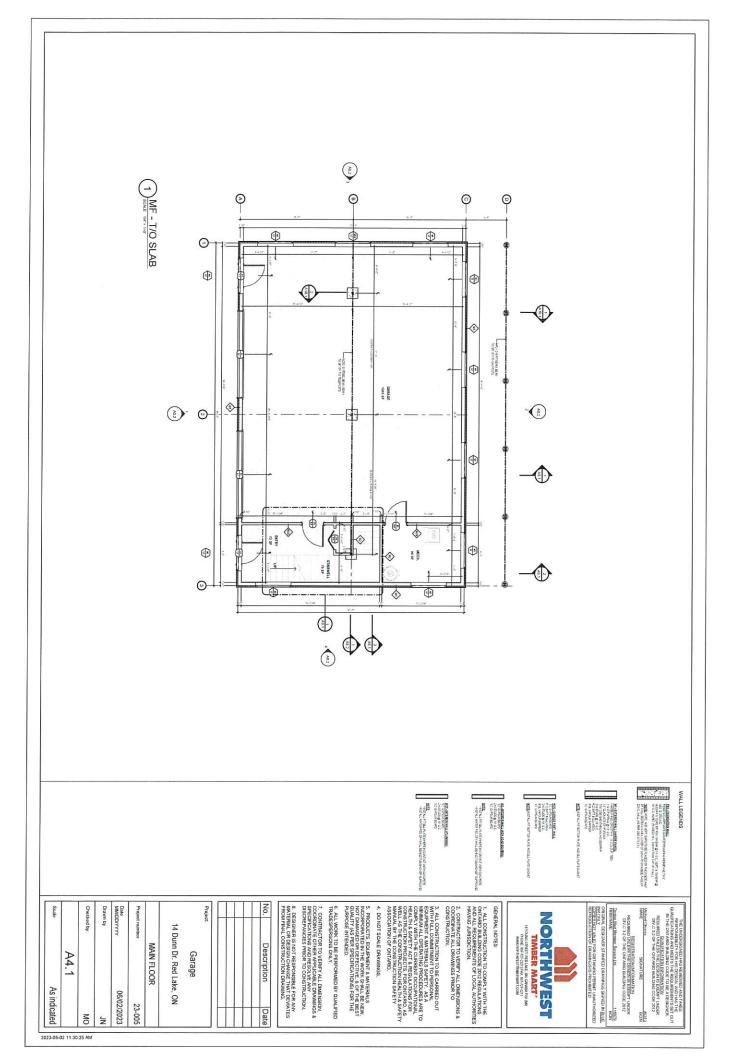
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14 Dunn Dr. Red Lake, ON UPPER FLOOR

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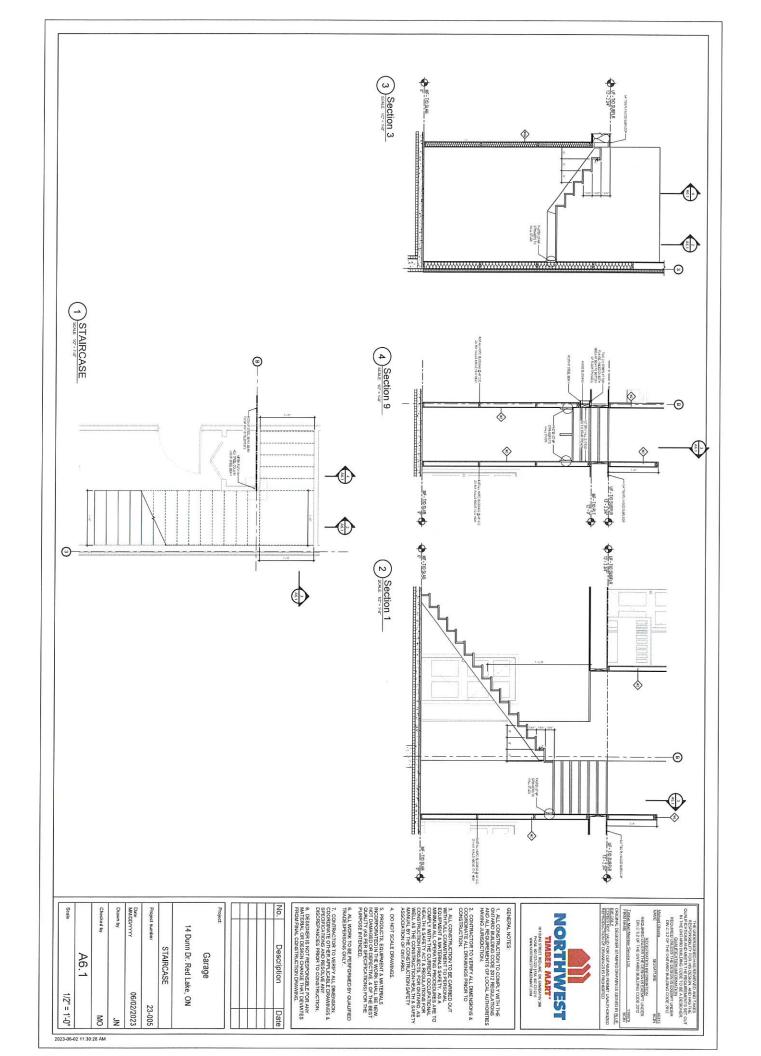
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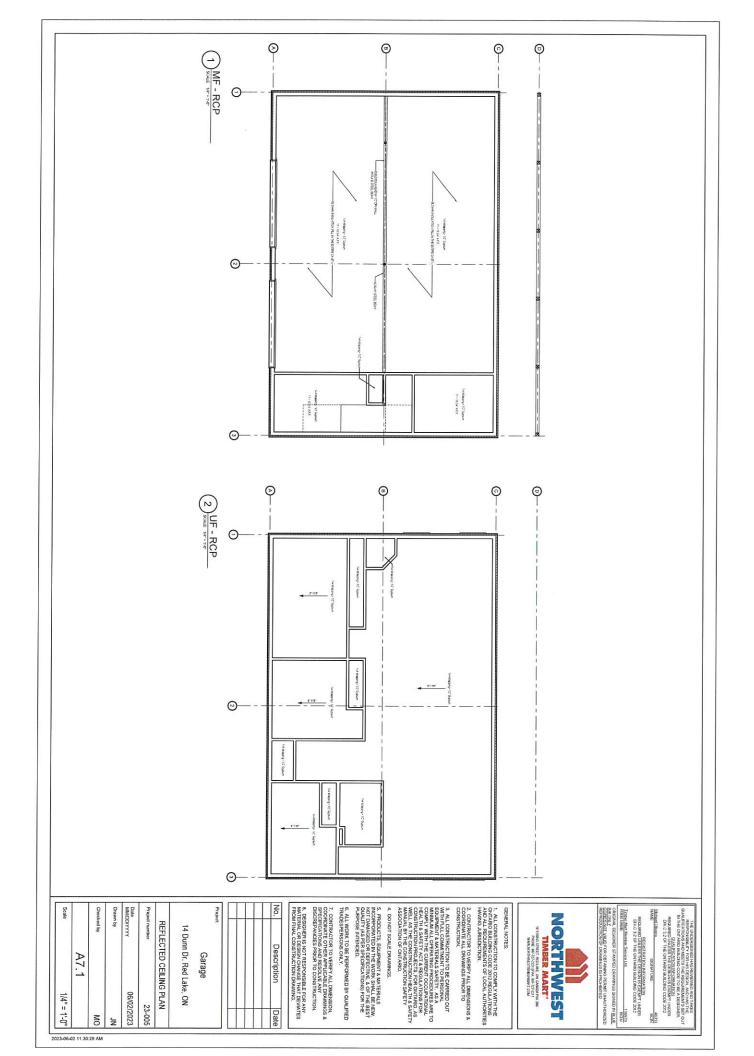
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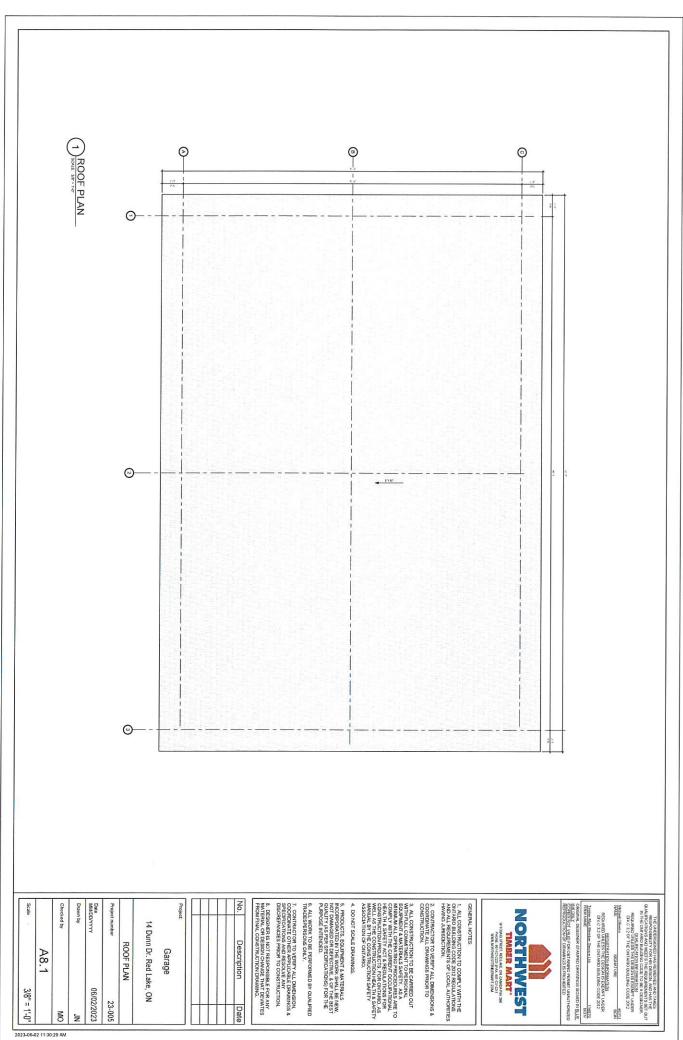
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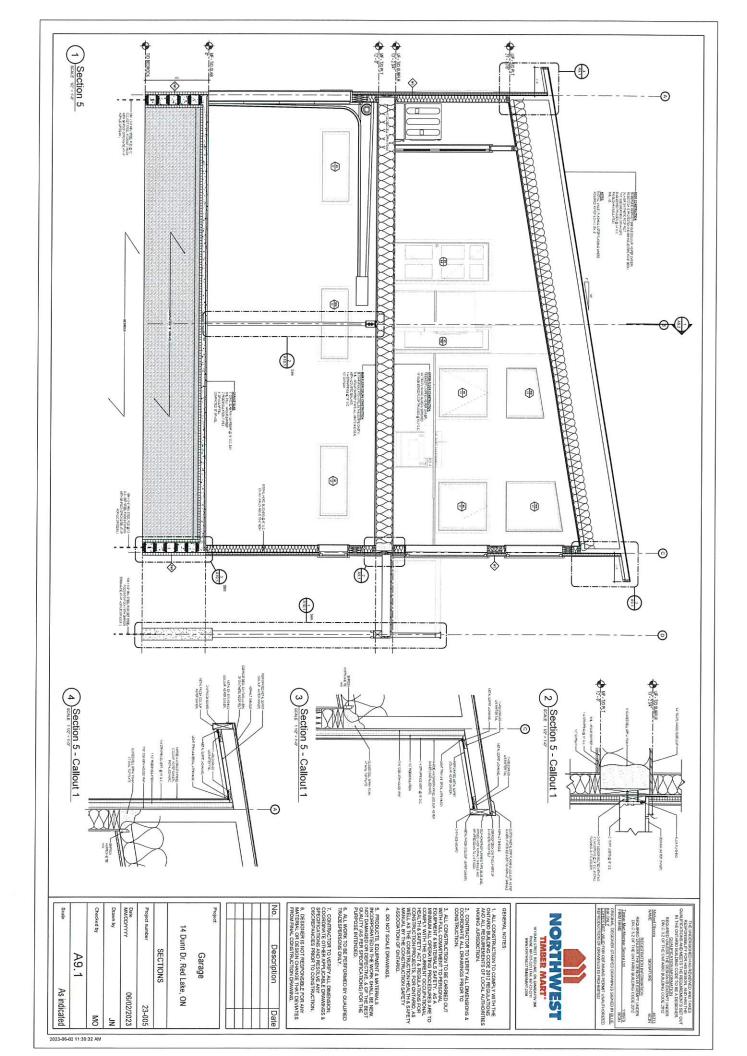
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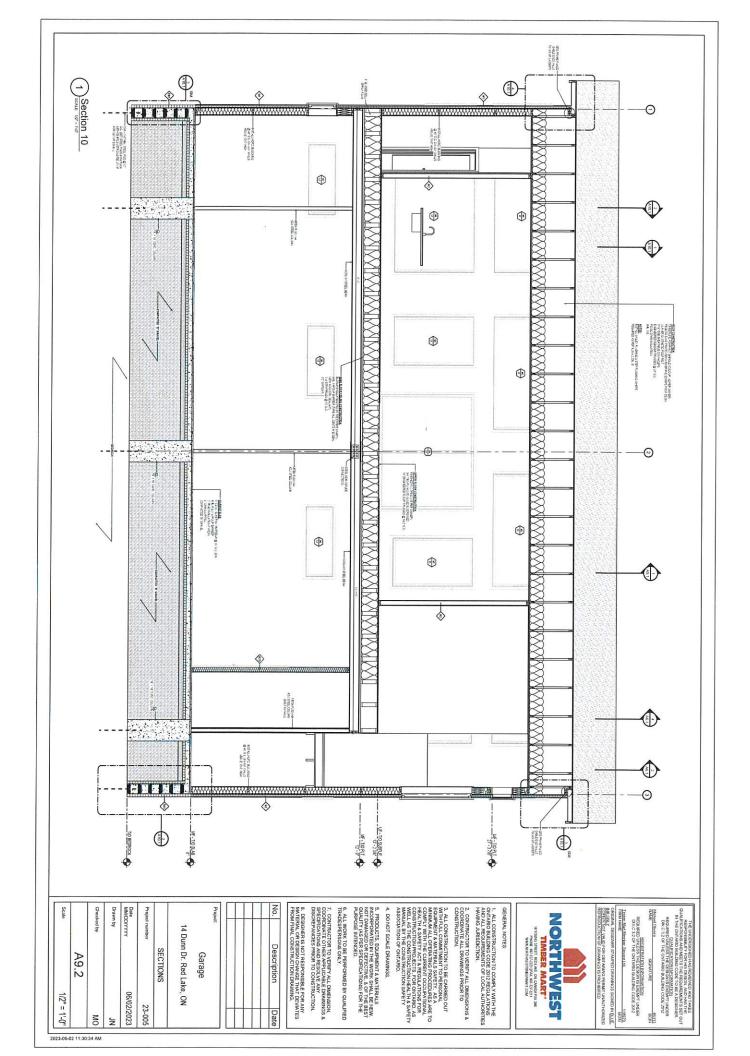
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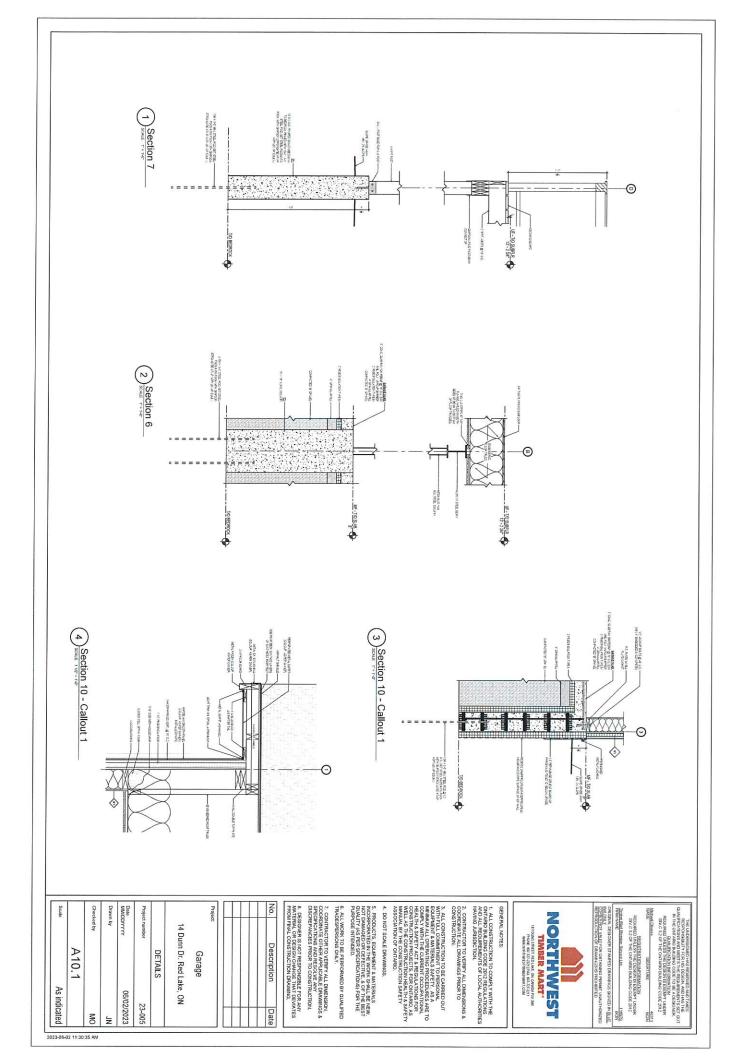












MUNICIPALITY OF

THE CORPORATION OF THE MUNICIPALITY OF RED LAKE

By-Law No. XX-2023

BEING A BY-LAW TO AMEND BY-LAW NO. 1930-14 WHICH REGULATES THE USE OF LAND, CHARACTER AND LOCATION OF BUILDINGS, AND STRUCTURES IN THE MUNICIPALITY OF RED LAKE

WHEREAS the Official Plan of the Corporation of the Municipality of Red Lake was approved by the Minister of Municipal Affairs on October 22, 2015; and,

WHEREAS the Municipality is in receipt of an application for a zoning by-law amendment and has administered a public meeting in accordance with the Planning Act, R.S.O, 1990; and,

WHEREAS Council deems it advisable to amend By-Law No. 1930-14 in accordance within the provisions of Section 34 of the Planning Act, Chapter P13, R.S.O. 1990;

NOW THEREFORE the Council of The Corporation of the Municipality of Red Lake hereby **ENACTS AS FOLLOWS**:

SECTION 1 - Application

- 1.1 This By-Law shall apply to property located at 14 Dunn Drive, Red Lake on lands described legally as location CL5654 Dome designated as PT 1 23R7843; PT Mining Claim K1454 Dome Designated as PT 1 23R11582; PT Location CL3455 Dome Designated as PT 6 23R11582.
- 1.2 A location sketch identified as "Schedule A" is attached hereto and forms part of this By-Law. The property subject to this amendment of the Zoning By-Law is shown as "Subject Location".

SECTION 2 - Purpose and Effect

2.1 By-Law No. 1930-14 is hereby amended insofar as it applies to the permitted uses and regulations of lands shown on Schedule A-1 Townsite of Red Lake.

The purpose of this By-Law is to change the regulated zoning classification for the lands from the Rural Residential (R4) Zone to the Rural Residential Exception (R4-13).

SECTION 3 - Amendment

3.1 Certain regulations are hereby amended by adding the following new section after the sub-section entitled "R4-12 Zone: 12 Pickerel Drive":

R4-13 Zone: 14 Dunn Drive

Notwithstanding any other provision of this By-Law to the contrary, the following provisions shall apply to lands zoned R4-13:

- (i) Minimum Setback from High Watermark for a main dwelling and detached garage: 20 m.
- (ii) Net floor area of the secondary dwelling unit shall not exceed 145 m².
- (iii) Maximum height of an accessory building, with a permitted secondary dwelling unit, shall not exceed 8.23 metres from the centre of the roof.

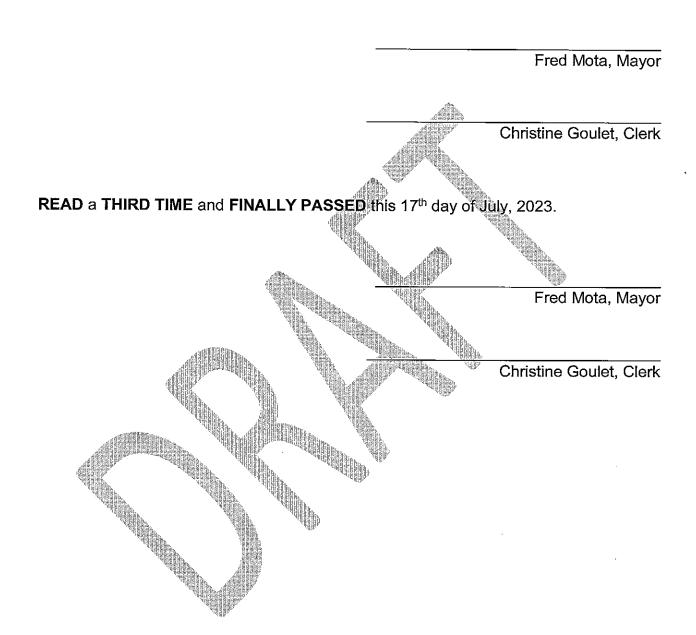
SECTION 4 – Conformity

In all other respects the provisions of By-law 1930-14 shall continue to apply.

THAT By-Law No. 54-2023 here is by repealed.

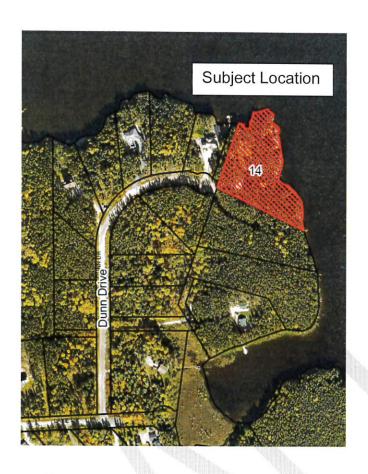
THAT this By-Law shall come into force and take effect upon the final passing thereof.

READ a FIRST and SECOND TIME this 17th day of July, 2023.



SCHEDULE A

14 Dunn Drive, Red Lake
PT 1 23R7843; PT Mining Claim K1454 Dome Designated as PT 1 23R11582; PT
Location CL3455 Dome Designated as PT 6 23R11582



Municipality of Red Lake
KEY MAP
By-Law No. XX-2023



SCHEDULE B

STATEMENT OF CONFORMITY TO THE OFFICIAL PLAN FOR THE MUNICIPALITY OF RED LAKE (BY-LAW 1937-14)

I, CHRISTINE GOULET, CLERK OF THE MUNICIPALITY OF RED LAKE, HAVE REVIEWED BY-LAW NO. XX-2023 OF THE MUNICIPALITY OF RED LAKE, AND I AM OF THE OPINION THAT THIS BY-LAW IS IN CONFORMITY WITH THE OFFICIAL PLAN FOR THE MUNICIPALITY OF RED LAKE (BY-LAW 1937-14).

