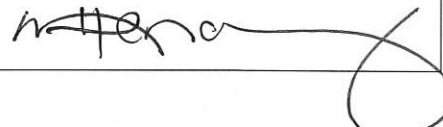


STAFF REPORT

NO. PL-25-001

Department:	Planning	Prepared By:	Hatem Omran, Planner
Report To: (check all that apply)	Council	☐ Open Meeting	
		☐ Closed Meeting	
	Committee of the Whole	☐ Open Meeting	
		☐ Closed Meeting	
	Planning Committee	☒ Any Meeting	May 13, 2025
Subject:	Application for Minor Variance: 27 Huston Place		
Supervisor Approval:	Michelle Hendry		
CAO Approval:	Michelle Hendry		

A. Recommendation:

That the Municipality of Red Lake Committee of Adjustment receives for information Staff Report PL-25-001, and

That the Committee of Adjustment approves Application D13-25-01; 27 Huston Place to permit the increase the maximum allowable height of an accessory building to be 5.5 meters.

B. Background:

The Municipality received an application for a Minor Variance from Niklas Zwicker and Aurore Seguin on March 18, 2025. The application included a sworn declaration for the prescribed information duly commissioned by a Commissioner of Oaths.

The Property owners are seeking relief from section 3.2 (g) of the Zoning By-law to permit an increase in the maximum allowable height of an accessory building (proposed garage) on their property at 27 Huston Place, Red Lake.

Zoning By-law 1930-14 as amended, permits a maximum height of 4.5 meters (14.76 feet) for the proposed garage and the applicant is requesting approval to increase the height to 5.5 meters (18 feet).

The subject property is zoned Rural Residential (R4) and encompasses an area of approximately 1.425 acres, with 301.97 feet of waterfront frontage. There is an existing house (utilized for residential purposes) and a small storage shed (which will be relocated upon the construction of the garage.)

Section 3.2 (g) states:

- i. Accessory buildings and structures shall not exceed 4.5 meters in height, except for permitted accessory dwelling units over an accessory use, in which case such accessory building shall not exceed 6 meters in height. The heights of garden suites, and guest cabins are governed by Section 3.3 of this By-Law.
- ii. Despite the above, no accessory building or structure shall exceed the height of the main building on the lot.

Analysis

In consultation with the Municipal Planning Consultant Chris Jones, the request for relief from Section 3.2(g) i and ii of the Zoning By-law is deemed permissible, subject to the approval of the Committee of Adjustment and support of surrounding property owners.

The proposed accessory building or structure will not exceed a maximum lot coverage of 3% of the total lot area, equivalent to 0.04275 acres, as stipulated in Section 8.2 – Zone Requirements: Accessory Buildings and Structures, of the Zoning By-law.

The proposed height of the garage is 5.5 meters (18 feet) and it will not exceed the height of the residential dwelling which is 9.654 meters (31.7 feet)

The owner has advised the proposed accessory building (garage) will not be utilized for any form of residential or dwelling purposes in the future.

The subject property is not governed by any site-specific provisions, and therefore, there are no regulatory constraints preventing the construction of the accessory building or structure.

C. Financial Considerations and Budget Impact:

There are not financial or budget implications for the Municipality.

D. Council Policy and Guidelines:

This application for a Minor Variance is governed by Zoning By-Law 1970-14 as amended.

E. The Municipality of Red Lake Strategic Plan:

The Minor Variance application is not linked to the Municipal Strategic Plan.

F. Alternatives:

The Planning Committee may choose to not approve the proposed Minor Variance.

Submitted By:

Hatem Omran, Planner

Attachments:

1. Appendix 1: Public Notice of Application and Public Meeting.
2. Appendix 2: Complete Minor Variance Application for zoning By-law amendment.
3. Appendix 3: Draft Zoning By-law amendment.



**NOTICE OF COMPLETE APPLICATION AND PUBLIC MEETING FOR
MINOR VARIANCE TO THE ZONING BY-LAW FILE NUMBER: D13-25-01**
Planning Act, R.S.O.1990 C.p.13, S.45 (1)

April 24, 2025

At the date and location below, the Municipality of Red Lake Committee of Adjustment will be hearing comments on an application for Minor Variance, described as follows.

LOCATION AND PROPERTY DESCRIPTION:



27 Huston Place. Please refer to the location sketch above.

PURPOSE AND EFFECT:

Request relief from Section 3.2(g) of the Zoning By-Law to increase the maximum height of an accessory building, from 4.5 m (14.76 ft) in height to 5.5m (18 ft) in height.

OTHER APPLICATIONS:

None at this time.

ADDITIONAL INFORMATION: Complete application for the proposed Minor Variance is available for inspection at the Municipal Office.

PUBLIC HEARING: You are entitled to attend the public hearing in person to express your views about this application or you may submit written comments to be read by the Committee at the hearing. If you wish to make written comments on this application, they may be forwarded to the secretary of the Committee at the address below. If you are aware of any person interested in or affected by this application who has not received a copy of this notice you are requested to inform that person of this hearing.

FAILURE TO ATTEND HEARING: If you do not attend the hearing it may proceed in your absence and, except as otherwise provided in the *Planning Act*, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION: A copy of the decision of the Committee will be sent to the applicant and to each person who appeared in person or by council at the hearing and who has filed with the secretary a written request to receive the notice of decision.

DATE AND TIME OF HEARING: Tuesday, May13th, 2025, 5:00 p.m.

PLACE AND ADDRESS: Council Chambers of the Municipal Office at 2 Fifth Street, Balmertown.

MAILING ADDRESS: Secretary of the Committee of Adjustment for The Corporation of the Municipality of Red Lake. P.O. Box 1000, Balmertown, ON P0V 1C0.

Personal information that may accompany a submission will be collected under the authority of the Planning Act and may form part of the public record which may be released to the public.

If you may have any questions, please contact the Planning Department by calling (807) 700-5089, or by Email: Hatem.Omran@redlake.ca

FILE NUMBER
D13-25-01

MUNICIPALITY OF RED LAKE APPLICATION FOR MINOR VARIANCE TO THE ZONING BY-LAW

Planning Act, R.S.O. 1990, c. P.13, s. 45
O. Reg. 200/96, Schedule☐ APPLICATION FEE ENCLOSED - \$350.00

THE INFORMATION IN THIS APPLICATION AND ALL OTHER INFORMATION, STUDIES, REPORTS AND COMMENTS RECEIVED RELATIVE TO THE PROCESSING OF THIS APPLICATION IS COLLECTED FOR THE PURPOSE OF CREATING A RECORD THAT IS AVAILABLE TO THE GENERAL PUBLIC.

NAME OF OWNER Niklas Zwicker Aurone Séguin		NAME OF AGENT, SOLICITOR OR PLANNING CONSULTANT (IF APPLICABLE)	
ADDRESS 27 Huston PL	POSTAL BOX 419	STREET ADDRESS	POSTAL BOX
POSTAL / ZIP CODE POU 1C0	PROV. / STATE ON	POSTAL / ZIP CODE	PROV. / STATE
TELEPHONE 807-355-8379 or 705-618-2424		TELEPHONE	
EMAIL Niklaszwicker@hotmail.com or aurone.seguin13@gmail.com		EMAIL	
DOES ANY OTHER PARTY HAVE INTEREST IN THE PROPERTY, SUCH AS CHARGE, MORTGAGE, OR EASEMENT? Mortgage			
PLEASE PROVIDE THE NAMES AND ADDRESSES FOR THESE PARTIES Royal Bank of Canada, 10 York Mills, Toronto, ON M2P 2C9			

PROPERTY INFORMATION:

LEGAL DESCRIPTION OF THE SUBJECT LAND, SUCH AS MINING PLAN DESCRIPTION, REGISTERED PLAN AND LOT OR PART NUMBERS PLAN M788 LOT 12 PCL 6632 PCL 6929 PART 5 23R8474		
STREET ADDRESS AND TOWN SITE NAME 27 Huston PL, Red Lake		
DIMENSIONS OF SUBJECT LAND		
Frontage (metres): 94.4 m	Depth (metres): 60.86 m	Area (hectares): 0.574

CURRENT DESIGNATION WITHIN THE RED LAKE OFFICIAL PLAN Rural Residential	CURRENT ZONING WITHIN THE ZONING BY-LAW Rural Residential
OFFICIAL PLAN - HAS A SITE SPECIFIC DESIGNATION BEEN APPLIED, AND IF SO, WHAT LAND USES ARE PERMITTED OR NOT PERMITTED? NO	
ZONING BY-LAW - HAS SITE SPECIFIC ZONING BEEN APPLIED, AND IF SO, WHAT LAND USES ARE PERMITTED OR NOT PERMITTED? NO	

DATE SUBJECT LAND WAS ACQUIRED ON:

October 19/2022

WHAT IS THE EXISTING USE OF THE PROPERTY? WHAT IS THE LENGTH OF TIME THIS USE HAS OCCURRED?

Residential use

EXISTING USE OF ABUTTING PROPERTIES

Residential

PROPOSAL INFORMATION:

RELIEF – NATURE AND EXTENT OF RELIEF FROM THE ZONING BY-LAW :

Section 3.2 (G)(I) Increase height from
14.76 ft to 18 ft

WHY CAN THE PROPOSED USE NOT COMPLY WITH THE ZONING BY-LAW?

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND.
FOR EXAMPLE, PLEASE SPECIFY THE GROUND FLOOR AREA, GROSS FLOOR AREA, NUMBER OF STOREYS, WIDTH, LENGTH, HEIGHT, ETC.

EXISTING: See Page 3

PROPOSED: See Page 4

HAS ANY OWNER PREVIOUSLY APPLIED FOR MINOR VARIANCE IN RESPECT OF THE SUBJECT PROPERTY? YES ☒ NO

IF YES, PLEASE PROVIDE THE FILE NUMBER AND DECISION IF GIVEN:

STORM DRAINAGE is provided to the subject land by:

☐ Sewers ☒ Ditches ☐ Swales ☐ Other means (specify)

SEWAGE DISPOSAL is or will be provided to the subject land by:

☐ Publicly-owned/operated sewage system ☐ Pit privy
☒ Privately-owned/operated individual septic system ☐ Other means (specify)
☐ Privately-owned/operated communal septic system

*Properties to be serviced by private sewage systems will require a preliminary soils inspection. It is the responsibility of the applicant to arrange an inspection with the Northwestern Health Unit.

*If the requested amendment would permit development on privately owned and operated individual or communal sewage system, and more than 4500 litres of effluent would be produced per day as a result of the proposed development, a servicing options report and a hydrogeological report must be provided.

POTABLE WATER is or will be provided to the subject land by:

☐ Publicly-owned/operated piped water system

☐ Lake or other water body

☒ Privately-owned/operated individual well

☐ Other means (specify)

☐ Privately-owned/operated communal well

OTHER APPLICATIONS – if known, indicate if the subject land is or will be the subject of an application under the Act for:

☐ approval of a plan of subdivision (under section 51) File Status

If Yes please describe in detail:

☐ consent (under section 53) File Status

If Yes please describe in detail:

☐ previous application (under section 34) File Status

If Yes please describe in detail:

Are you aware of any *Planning Act* Applications within currently being proposed for any properties within 120 metres of the subject property?

ACCESS – Access to the subject land will be by:

☐ Provincial Highway

☐ Seasonally maintained Municipal road

☒ Year round maintained Municipal road

☐ Right-of-way

☐ Private road

☐ Water

WATER ACCESS – Where access to the subject land is by water only:

Docking facilities (specify)

distance from subject land

distance from nearest public road

Parking facilities (specify)

distance from subject land

distance from nearest public road

EXISTING BUILDINGS AND STRUCTURES – Provide the following information for all buildings and structures. Attach a separate page if necessary.

TYPE - <u>House</u>	Front lot line setback: <u>40.996</u>	Height in metres <u>9.65m</u>
DATE CONSTRUCTED <u>1989</u>	Rear lot line setback: <u>30.21</u>	Dimensions: <u>10.515 x 11.278</u>
	Side lot line setback: <u>17.92</u>	Floor Area: <u>123m²</u>
	Side lot line setback: <u>20.57</u>	
TYPE - <u>Shed</u>	Front lot line setback: <u>9.144</u>	Height in metres <u>3.352</u>
DATE CONSTRUCTED <u>Unknown</u>	Rear lot line setback: <u>20.15</u>	Dimensions: <u>3.048 x 4.877</u>
<u>* will be relocated</u>	Side lot line setback: <u>7.62</u>	Floor Area: <u>14.865m²</u>
<u>here upon construction</u>	Side lot line setback:	
<u>of garage (see print)</u>		

PROPOSED BUILDINGS AND STRUCTURES – Provide the following information for all buildings and structures. Attach a separate page if necessary.

TYPE - Garage Front lot line setback: 56.541 Height in metres: 5.43m
 Rear lot line setback: 13.246m Dimensions: 10.363 x 13.411
 Side lot line setback: 2.966m Floor Area: 111.483-2
 Side lot line setback: 18.959m

TYPE - Front lot line setback: Height in metres:
 Rear lot line setback: Dimensions:
 Side lot line setback: Floor Area:
 Side lot line setback:

What is the expected type and volume of waste to be produced on the subject land? How will this waste be managed or treated?

Grey water (sinks) as a result of indoor plumbing N/A
 Black water (toilet) as a result of indoor plumbing N/A
 Food wastes N/A
 Recyclable household wastes (plastic, glass, aluminum) N/A
 Building hardware wastes (treated wood, shingles, metal) N/A

CHECK AS APPLICABLE:

Does the Owner own any adjoining property? ☐ Yes ☒ No

If Yes please describe in detail: _____

Is there any reason to believe that the site may be environmentally contaminated? ☐ Yes ☒ No

If Yes please describe in detail: _____

Has an industrial or commercial use been on or adjacent to the property? ☐ Yes ☒ No

If Yes please describe in detail: _____

Has lot grading been changed by adding or removing earth or other material? ☐ Yes ☒ No

Has the Ministry of the Environment or any other ministry advised the owners that the property is or may be contaminated? ☐ Yes ☒ No

If Yes please describe in detail: _____

Are there any known Natural Heritage values existing on the site? ☐ Yes ☒ No

DATE SUBJECT LAND WAS ACQUIRED ON: Oct, 19, 2022

ARE THE MINERAL RIGHTS CROWN OR PATENTED? Patented

ARE THERE ANY RESERVATIONS ON THE PATENT OR TITLE OF THE SUBJECT LOCATION?

IF FRONTED BY WATER, IS THE SHORELINE RESERVE PATENTED OR CROWN LAND? IF CROWN, HOW WIDE IS THE RESERVATION?

Is there any other information that you think may be useful to the Municipality in reviewing this Application for Minor Variance? If so, explain below or attach a separate page with this information.

Shed in area (as seen in photo), to be removed from property.

SITE PLAN SKETCH:

PLEASE TAKE TIME TO PROVIDE A GOOD SKETCH.

PRINT CLEARLY. IT SHOULD DISPLAY THE FOLLOWING INFORMATION TO THE BEST OF YOUR KNOWLEDGE:

- Prepared on letter paper, overtop of a photocopy of the survey is ideal. For a more detailed or larger scaled sketch, you may provide a second page.
- North arrow, scale and legend
- The boundaries of the owner's property and dimensions
- The boundaries of the property subject to the application including area and dimensions if different from above
- The location, dimensions (height, length, and width) and type of all **existing** and **proposed** buildings and structures on the subject land, indicating the distance of the buildings or structures from other buildings and from the front yard line, rear yard line and the side yard lot lines.
- The location or proposed location of any sewage disposal systems, including pit privies, grey water, or septic systems
- The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, transmission lines, roads, watercourses, slopes, drainage ditches, river or stream banks, wetlands, wooded areas, and wells
- The existing use(s) of lands on adjacent properties (i.e. residential, automotive repair, retail)
- The proposed development, including the area and dimensions of any new lots to be created, the size and location of buildings, parking spaces, landscaping, amenity areas, etc.
- As applicable - fire access route, outdoor equipment and storage, walkway, curbing, fencing
- Existing municipal infrastructure immediately adjacent to the site (roads, lane, sidewalks, existing entrances, boulevard trees, fire hydrants, hydro poles, easements, etc.)
- The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right-of-way.
- If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- The location and nature of any easements affecting the subject land.

AUTHORIZATION OF THE OWNER FOR AN AGENT TO MAKE APPLICATION

I/We the undersigned, being the owner of the subject land, hereby authorize
to be the applicant in the submission of this application. This application has been submitted with my/our full knowledge and
endorsement.

Signature of 1st Owner or Signing Officer

Signature of Witness

Signature of 2nd Owner or Signing Officer

Date

AFFIDAVIT OR SWORN DECLARATION FOR THE PRESCRIBED INFORMATION

I/We, Aurora Seguin Niklas Zwicker of the Municipality of
Red Lake in the Province of Ontario
(Municipality/City)
(Province)

solemnly declare that the statements and any maps or plans submitted with this application are true, and I/We make this
solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under
oath and by virtue and provided by me are true and I make this solemn of the Canada Evidence Act.

Sworn (or declared) before me at the Municipality of Red Lake
in the District of Kenora

This 18 day of March, 2025

Christine Goulet
Commissioner for Taking Affidavits

Aurora Seguin
1st Owner/ Signing officer/ Authorized Agent

Affix commissioner stamp here:

Christine Goulet
a Commissioner, etc., District of Kenora
for the Corporation of the Municipality of Red Lake.

[Signature]
2nd Owner/ Signing officer/ Authorized Agent

This section for Red Lake Municipal office use only:

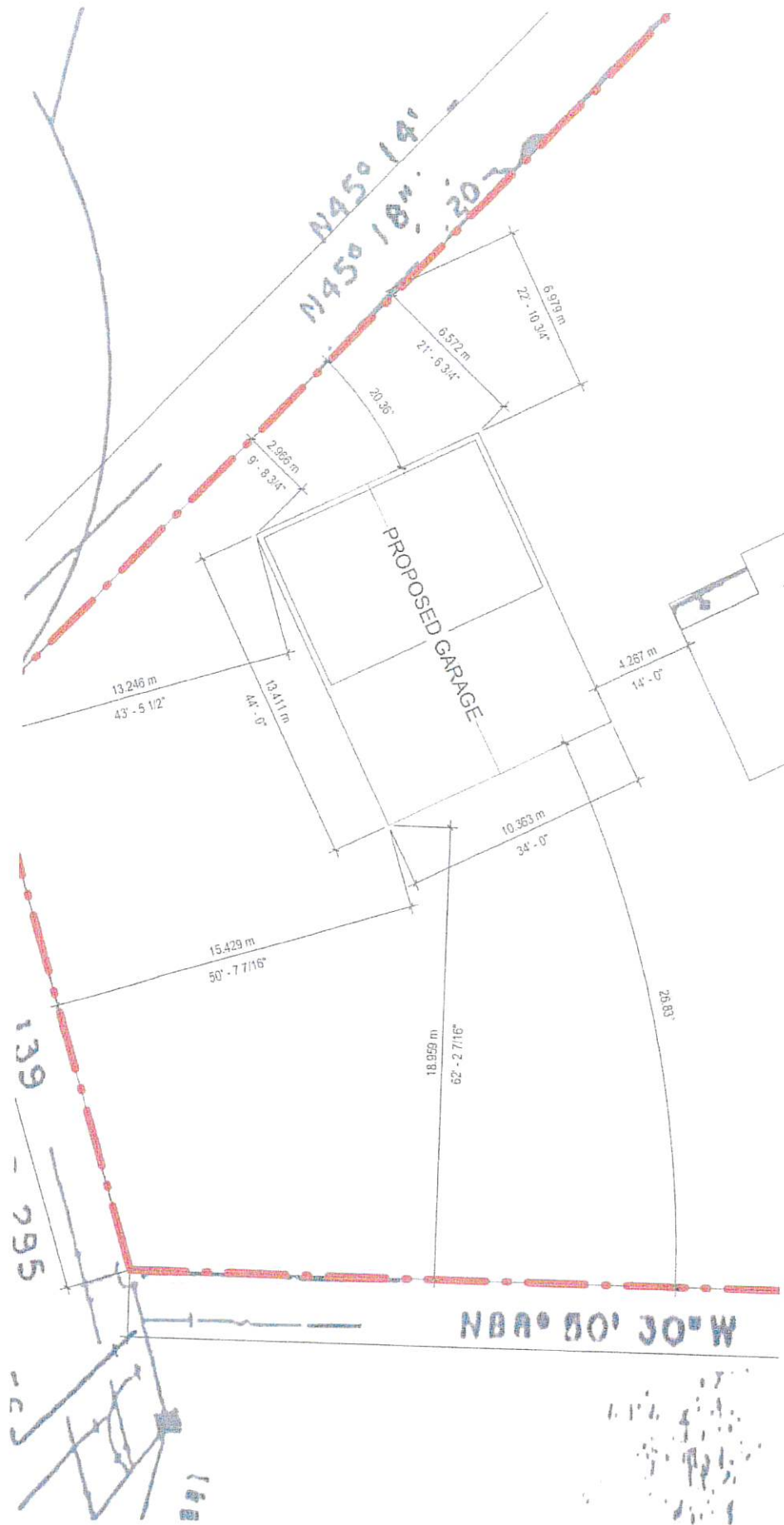
Date complete application received: _____

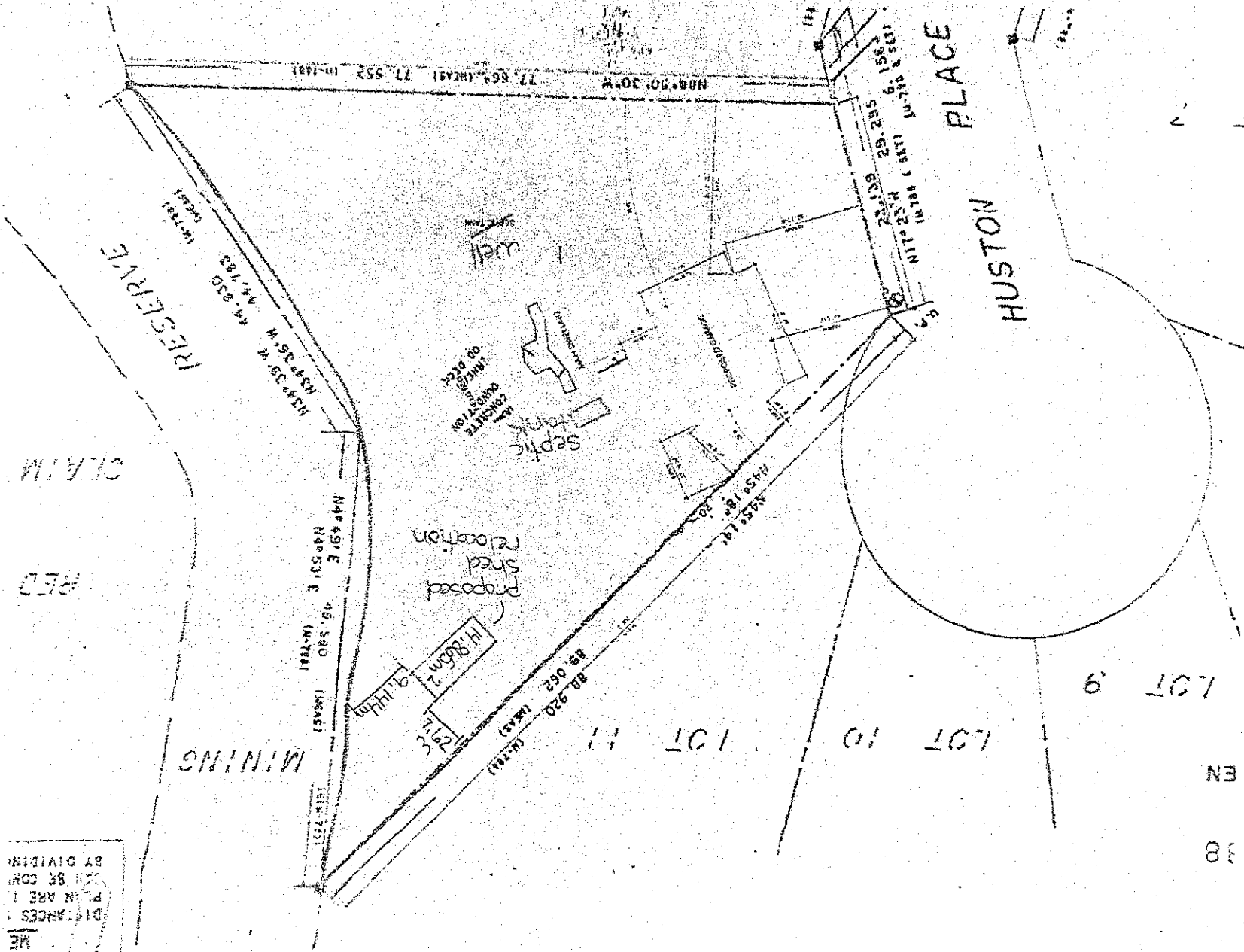
FAX No. 807 727 1126

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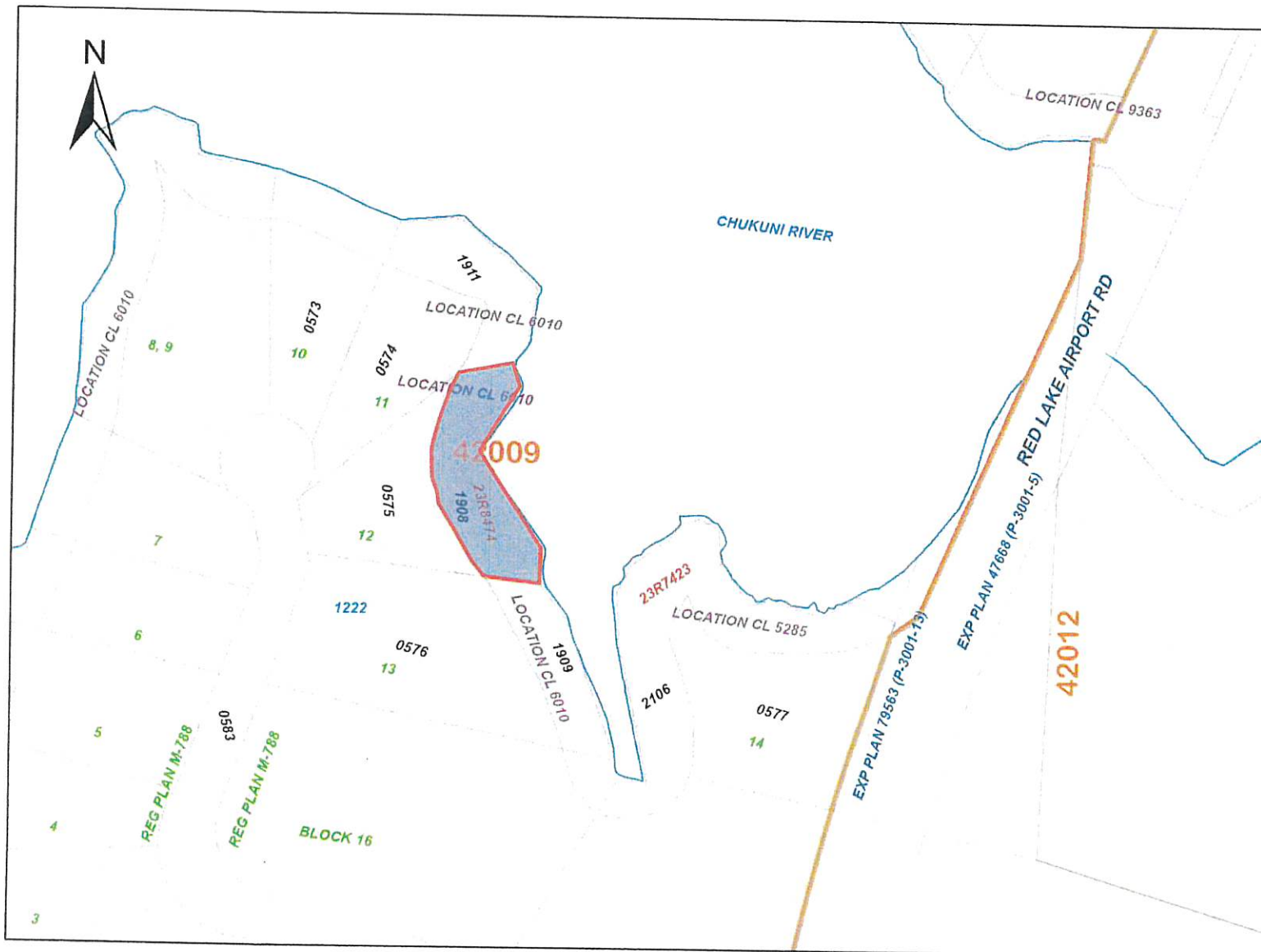
① SITE PLAN
3/64" = 1'-0"





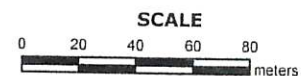
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2007-10-17
BY DIVISION





ServiceOntario

PRINTED ON 14 MAR, 2025 AT 17:50:57
FOR AURORE SEGUIN



PROPERTY INDEX MAP KENORA(No. 23)

LEGEND

FREEHOLD PROPERTY
 LEASEHOLD PROPERTY
 LIMITED INTEREST PROPERTY
 CONDOMINIUM PROPERTY
 RETIRED PIN (MAP UPDATE PENDING)
 PROPERTY NUMBER
 BLOCK NUMBER
 GEOGRAPHIC FABRIC
 EASEMENT

THIS IS NOT A PLAN OF SURVEY

NOTES

REVIEW THE TITLE RECORDS FOR COMPLETE
PROPERTY INFORMATION AS THIS MAP MAY
NOT REFLECT RECENT REGISTRATIONS

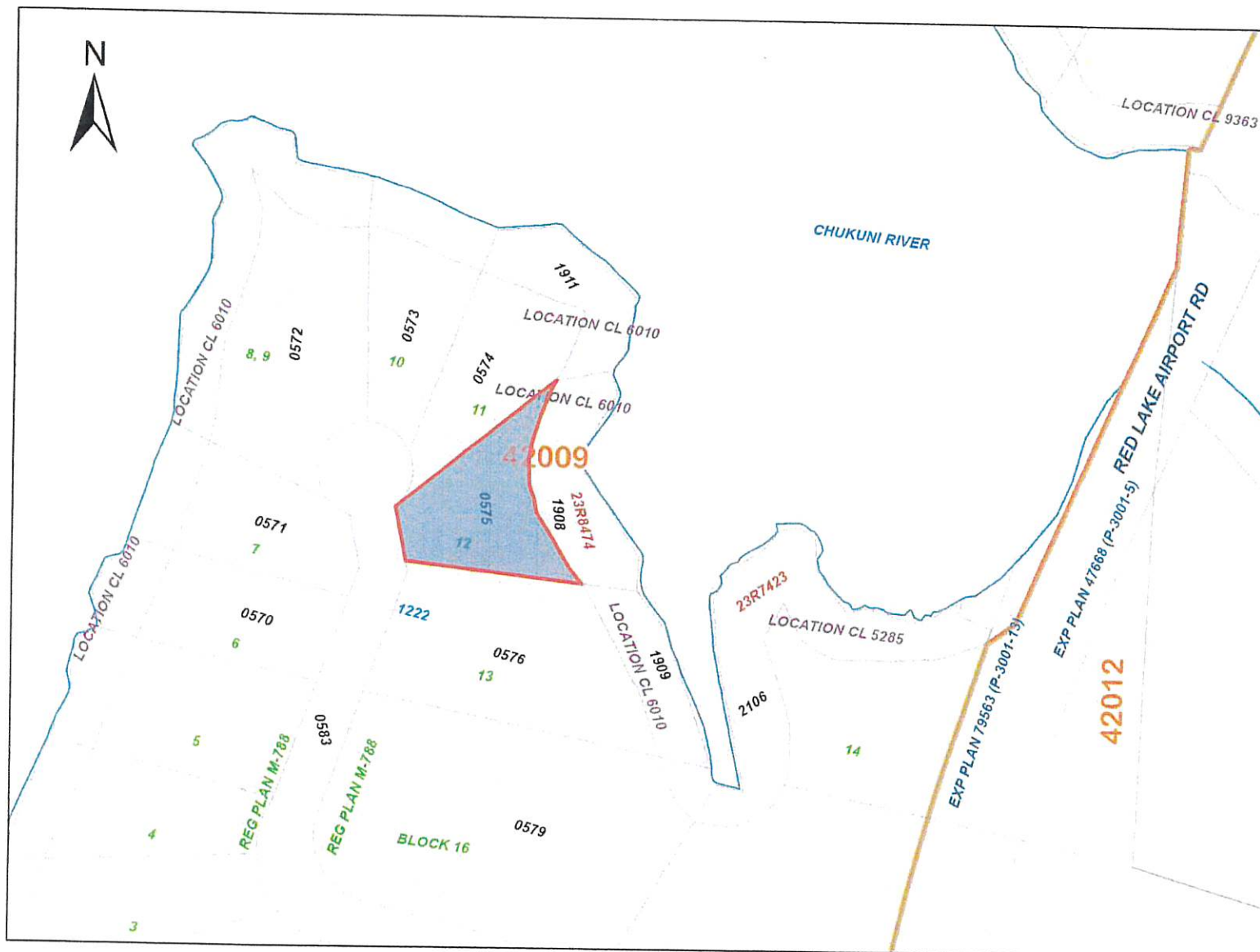
THIS MAP WAS COMPILED FROM PLANS AND
DOCUMENTS RECORDED IN THE LAND
REGISTRATION SYSTEM AND HAS BEEN PREPARED
FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE
RECORDED PLANS AND DOCUMENTS

ONLY MAJOR EASEMENTS ARE SHOWN

REFERENCE PLANS UNDERLYING MORE RECENT
REFERENCE PLANS ARE NOT ILLUSTRATED





ServiceOntario

SCALE

0 20 40 60 80

meters

LEGEND

THIS IS NOT A PLAN OF SURVEY

THIS MAP WAS COMPILED FROM PLANS AND DOCUMENTS RECORDED IN THE LAND REGISTRATION SYSTEM AND HAS BEEN PREPARED FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE
RECORDED PLANS AND DOCUMENTS

ONLY MAJOR EASEMENTS ARE SHOWN

REFERENCE PLANS UNDERLYING MORE RECENT
REFERENCE PLANS ARE NOT ILLUSTRATED



A perspective drawing of a three-story building with horizontal siding. The building has a gabled roof. On the front facade, there is a small square window on the second floor, a large multi-paned window on the first floor, and another multi-paned window on the ground floor. The side facade also features a small square window on the second floor and a larger square window on the first floor. The building is shown from a low angle, emphasizing its height.

EXHIBIT 1: EXHIBITS DESIGN REPRESENTATIVE				% OF CONTRACT
EXHIBITS WALLS				
	AREA	PERIMETER	AREA	PERIMETER
WALL	48,000 sq ft		30,000 sq ft	
W/WT	1,522.11 sq ft		229 sq ft	
W/STPH	48,45 sq ft		1,000 sq ft	
SCOTTH	438,00 sq ft		21,000 sq ft	
	41,700 sq ft		2,400 sq ft	
W/ST	44,000 sq ft		33,000 sq ft	
	155,211 sq ft		55,500 sq ft	
	170,641 sq ft		64,000 sq ft	4.4%

SHEET LIST	
Sheet Number	Sheet Name
001	INTL SITE PLAN
002	INTL BLDG FOOTPRINTS
003	INTL BLDG ELEVATIONS
004	INTL EXTERIOR FINISHES
005	INTL INTERIOR FINISHES
006	MECHANICAL SYSTEMS
007	ELECTRICAL SYSTEMS
008	PLUMBING SYSTEMS
009	HAZARDOUS WASTE
010	HAZARDOUS WASTE
011	HAZARDOUS WASTE
012	HAZARDOUS WASTE
013	HAZARDOUS WASTE
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033	HAZARDOUS WASTE

THIS IS TO BE FILLED BY A COMPANY OR FIRM OR INDIVIDUAL WHO HAS BEEN DESIGNATED AS THE PERSON RESPONSIBLE FOR THE PROJECT. IT IS TO BE FILLED OUT IN FULL AND RETURNED TO THE BUREAU OF RESEARCH AND DEVELOPMENT, U.S. DEPARTMENT OF COMMERCE, WASHINGTON, D.C. 20540. IT IS TO BE FILLED OUT IN FULL AND RETURNED TO THE BUREAU OF RESEARCH AND DEVELOPMENT, U.S. DEPARTMENT OF COMMERCE, WASHINGTON, D.C. 20540. IT IS TO BE FILLED OUT IN FULL AND RETURNED TO THE BUREAU OF RESEARCH AND DEVELOPMENT, U.S. DEPARTMENT OF COMMERCE, WASHINGTON, D.C. 20540.

Section 1: Project Information

1. Project Title: Development of a New Product

2. Project Number: 123456789

3. Project Description: Development of a new product for the market of...

4. Project Objectives: Development of a new product for the market of...

5. Project Status: Development of a new product for the market of...

6. Project Location: Development of a new product for the market of...

7. Project Dates: Development of a new product for the market of...

8. Project Budget: Development of a new product for the market of...

9. Project Personnel: Development of a new product for the market of...

10. Project Results: Development of a new product for the market of...

11. Project Conclusions: Development of a new product for the market of...

12. Project Recommendations: Development of a new product for the market of...

13. Project Acknowledgments: Development of a new product for the market of...

14. Project References: Development of a new product for the market of...

15. Project Attachments: Development of a new product for the market of...

16. Project Comments: Development of a new product for the market of...

17. Project Signature: Development of a new product for the market of...

18. Project Date: Development of a new product for the market of...

19. Project Contact: Development of a new product for the market of...

20. Project Address: Development of a new product for the market of...

21. Project Phone: Development of a new product for the market of...

22. Project Fax: Development of a new product for the market of...

23. Project E-mail: Development of a new product for the market of...

24. Project Website: Development of a new product for the market of...

25. Project Social Media: Development of a new product for the market of...

26. Project Other: Development of a new product for the market of...

27. Project Notes: Development of a new product for the market of...

28. Project Footer: Development of a new product for the market of...

Crisis Impact		Human Impact		Domestic Impact	
2014年中国国内生产总值	63.60 万亿元	61	62	63	64
2014年中国国内生产总值增长率	7.4%	65	66	67	68
2014年中国国内生产总值人均	7644 美元	69	70	71	72
2014年中国国内生产总值人均增长率	7.4%	73	74	75	76
2014年中国国内生产总值人均	7644 美元	77	78	79	80
2014年中国国内生产总值人均增长率	7.4%	81	82	83	84
2014年中国国内生产总值人均	7644 美元	85	86	87	88
2014年中国国内生产总值人均增长率	7.4%	89	90	91	92
2014年中国国内生产总值人均	7644 美元	93	94	95	96
2014年中国国内生产总值人均增长率	7.4%	97	98	99	100

Author's address: *Department of Psychology, University of Cambridge, 18a Avenue Road, Cambridge CB3 9ET, UK.*
E-mail: *l.s.13.2@psy.ox.ac.uk*

Revised Date July 7, 2010

Page 3

[illegible]**NIKLAS' GARAGE**

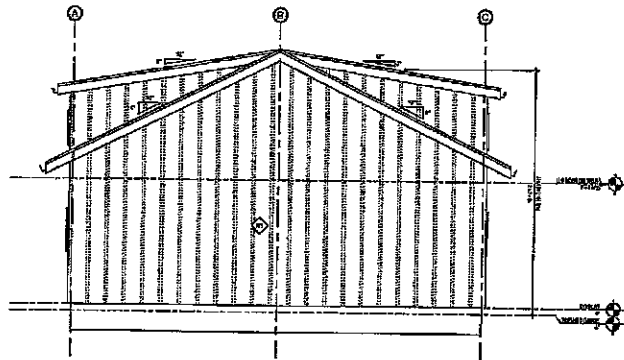
Red Lake, ON

TITLE SHEET

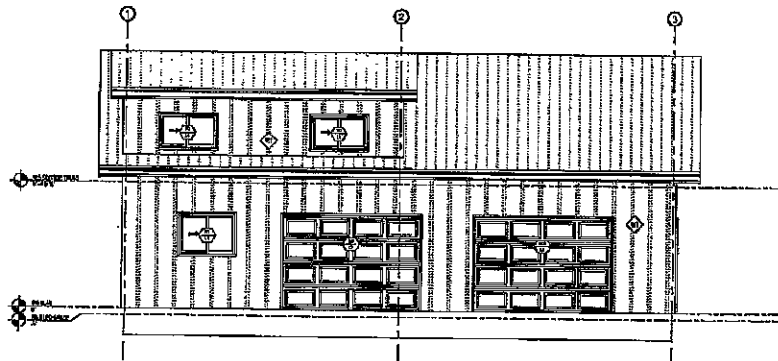
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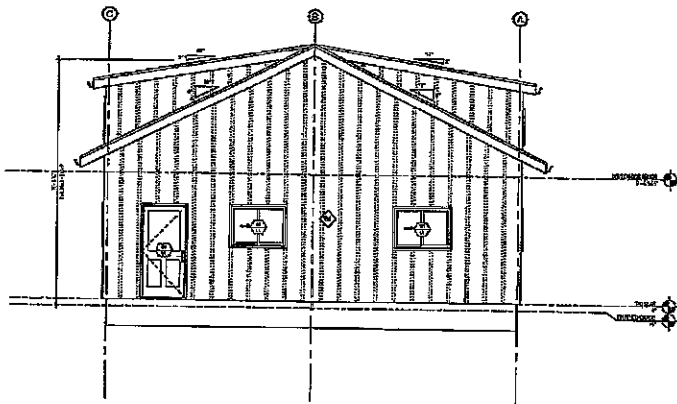
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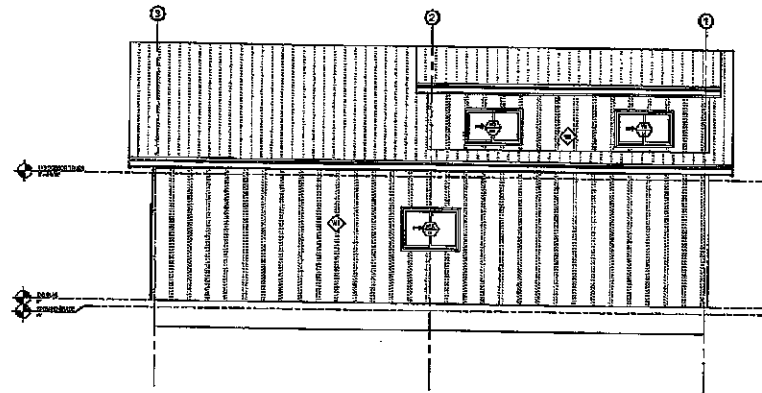
1 WEST
1/4" = 1'-0"



2 SOUTH
1/4" = 1'-0"



3 EAST
1/4" = 1'-0"



4 NORTH
1/4" = 1'-0"

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND THE QUALITY OF THE DRAWINGS AND THE INFORMATION CONTAINED THEREIN. THE UNDERSIGNED IS A MEMBER OF THE PROFESSION OF ARCHITECTS OF THE PROVINCE OF ONTARIO AND IS A REGISTERED PROFESSIONAL ARCHITECT UNDER THE REGULATION OF THE PROFESSION OF ARCHITECTS OF THE PROVINCE OF ONTARIO.

NAME: **NIKLAS** SIGNATURE: **NIKLAS** REG. NO.: **42313**

PROJECT INFORMATION: **27 HUSKON PLACE, RED LAKES, ONTARIO**

DATE: **04/04/2025**

SCALE: **1/4" = 1'-0"**

ORIGINAL DRAWINGS SHOWN IN BLUE. ANY CHANGES TO THE DRAWINGS MUST BE MADE BY THE ARCHITECT. REPRODUCTION OF DRAWINGS IS PROHIBITED.

NIKLAS ARCHITECT

1700 E. FREDERICK AVENUE, SUITE 100
RED LAKES, ONTARIO N4B 1Y1

- GENERAL NOTES:
1. ALL CONSTRUCTION TO COMPLY WITH THE ONTARIO BUILDING CODE, 1995, AND ALL LOCAL ORDINANCES AND BY-LAWS.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS & COORDINATE ALL WORK PRIOR TO CONSTRUCTION.
 3. ALL CONSTRUCTION TO BE CARRIED OUT WITH FULL COMPLIANCE TO PERSONAL EQUIPMENT & MATERIALS SAFETY. ALL MATERIALS OPERATING PROCEDURES ARE TO COMPLY WITH THE CURRENT OCCUPATIONAL HEALTH & SAFETY ACT & REGULATIONS FOR CONSTRUCTION PROJECTS. FOR GENERAL, AS WELL AS THE CONSTRUCTION HEALTH & SAFETY MANUAL BY THE CONSTRUCTION SAFETY ASSOCIATION OF ONTARIO.
 4. DO NOT SCALE DRAWINGS.
 5. PRODUCTS, EQUIPMENT & MATERIALS INCORPORATED IN THE WORK SHALL BE NEW, NOT DAMAGED OR OBSOLETE, & OF THE BEST QUALITY FOR THE PURPOSES INTENDED.
 6. ALL WORK TO BE PERFORMED BY QUALIFIED TRADES PERSONS ONLY.
 7. CONTRACTOR TO VERIFY ALL DIMENSIONS, COORDINATE OTHER APPLICABLE DRAWINGS & SPECIFICATIONS AND RESOLVE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 8. DESIGNER IS NOT RESPONSIBLE FOR ANY MATERIAL OR CONSTRUCTION DEFECTS THAT DEVIATE FROM THE CONSTRUCTION DRAWINGS.
 9. BEFORE CONSTRUCTION SHALL HAVE MINIMUM 30 DAYS NOTICE OF INSTALLATION FOR THE DESIGNER AND A DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGNER. ALL DESIGNER AND DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGNER. ALL DESIGNER AND DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGNER. ALL DESIGNER AND DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGNER.

No.	Description	Date

Project: **NIKLAS' GARAGE**

27 Huskon Place
Red Lake, ON

EXTERIOR ELEVATIONS

Project Number: **26-015**

Date: **04/04/2025**

Drawn by: **JN**

Checked by: **MO**

Scale: **A0.3**

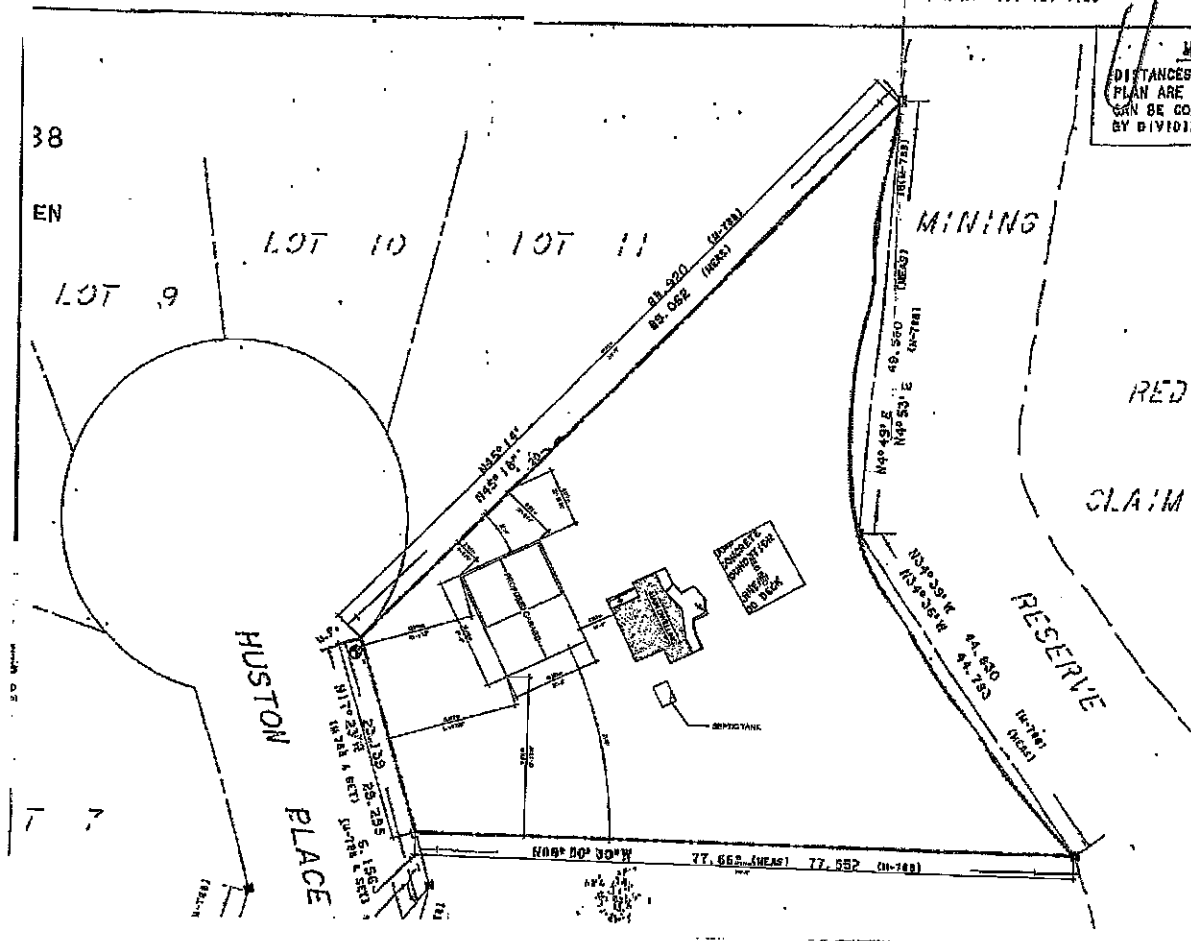
1/4" = 1'-0"

**SITE PLAN IS PRELIMINARY ONLY.
CONTRACTOR TO VERIFY SITE
DIMENSIONS AND CONDITIONS PRIOR
TO COMMENCING CONSTRUCTION**

TUE 10:37 AM

SMART LAW OFFICE

FAX No. 807 727 1128



WE
DISTANCES
PLAN ARE 11
CAN BE CON
BY DIVISION

THE ENGINEER HAS REVIEWED AND TAKEN
REASONABLE STEPS TO ENSURE THAT THE
QUALIFICATIONS AND ABILITIES OF THE PERSONS
WHOSE NAMES ARE SET OUT IN THE SCHEDULE
ARE SUITABLE FOR THE PURPOSES OF THE
ACT. THE ENGINEER IS NOT RESPONSIBLE FOR
THE ACCURACY OF THE INFORMATION
CONTAINED IN THE SCHEDULE.

Signature: [Signature]
Name: [Name]
Firm: [Firm]
Address: [Address]
City: [City]
Province: [Province]
Country: [Country]



- GENERAL NOTES:**
1. ALL CONSTRUCTION TO COMPLY WITH THE ONTARIO BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND COORDINATE ALL CONSTRUCTION PRIOR TO CONSTRUCTION.
 3. ALL CONSTRUCTION TO BE CARRIED OUT WITH FULL COMPLIANCE TO PERSONAL EQUIPMENT & MATERIALS SAFETY. ALL MINING AND CONSTRUCTION WORK IS TO BE CARRIED OUT WITH THE CURRENT OCCUPATIONAL HEALTH & SAFETY ACT & REGULATIONS FOR CONSTRUCTION PROJECTS FOR ONTARIO, AS WELL AS THE CONSTRUCTION HEALTH & SAFETY BOARD BY THE CONSTRUCTION SAFETY ASSOCIATION OF ONTARIO.
 4. DO NOT SCALE DRAWING.
 5. PRODUCTS, ETC. THAT ARE INCORPORATED IN THE WORK SHALL BE NOT BE DAMAGED OR DESTROYED OR OF THE BEST QUALITY FOR THE SPECIFIC PURPOSES FOR THE PURPOSES INTENDED.
 6. ALL WORK TO BE PERFORMED BY QUALIFIED PERSONNEL ONLY.
 7. CONTRACTOR TO VERIFY ALL DIMENSIONS, COORDINATE, OBTAIN APPROVALS & PERMITS & SPEED UP CONSTRUCTION AND RESOLVE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 8. DESIGNER IS NOT RESPONSIBLE FOR ANY MATERIAL OR DESIGN CHANGES THAT OCCUR AFTER FINAL CONSTRUCTION DRAWING.
 9. WORKING CONTRACTOR SHALL HAVE MINIMUM 4 YEARS EXPERIENCE INSTALLING EPDM ROOF SYSTEMS AND MUST BE A MEMBER OF THE MINING AND CONSTRUCTION SAFETY ASSOCIATION OF ONTARIO. ALL INSTALLATIONS SHALL BE DONE IN ACCORDANCE WITH THE MINING AND CONSTRUCTION SAFETY ASSOCIATION OF ONTARIO REGULATIONS FOR ALL TYPES OF INSTALLATION.

No.	Description	Date

Project: **NIKLAS' GARAGE**

27 Huston Place
Red Lake, ON

SITE PLAN (PRELIMINARY)

Project number: **25-015**

Date: **04/04/2025**

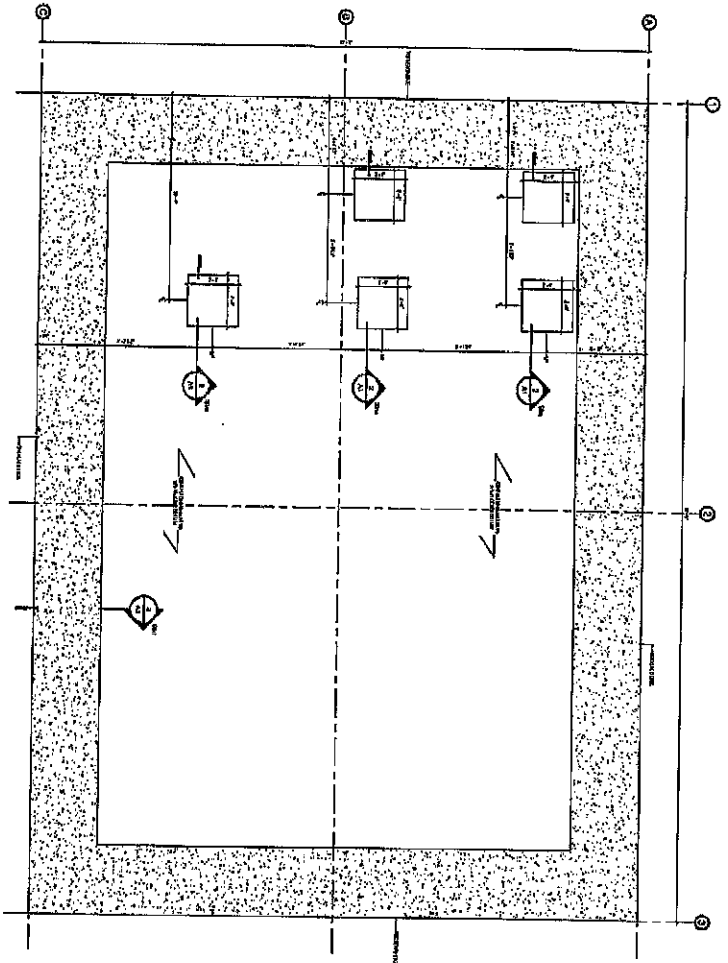
Drawn by: **JN**

Checked by: **MO**

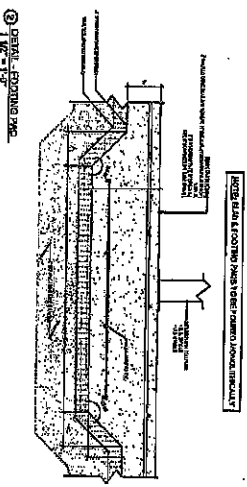
Scale: **A0.4**

3/84" = 1'-0"

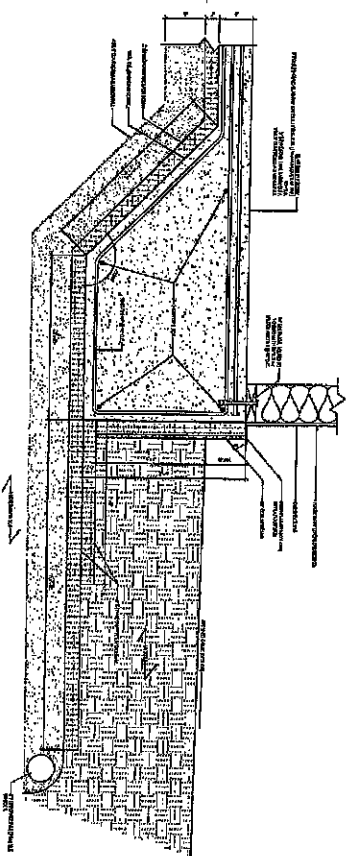
11/11/2025 10:37 AM



① FLOOR PLAN - FOUNDATION
28' 0" x 14' 0"

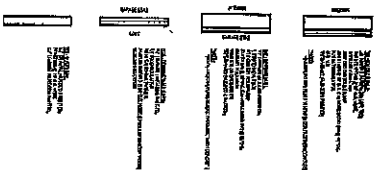


② DETAIL - FOUNDATION WALL
12" x 12"



③ DETAIL - FOUNDATION BEAM
12" x 12"

WALL TIEBARS



NOTES:

1. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE INTERNATIONAL MECHANICAL CODES.
2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE INTERNATIONAL MECHANICAL CODES.
3. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE INTERNATIONAL MECHANICAL CODES.
4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE INTERNATIONAL MECHANICAL CODES.
5. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE INTERNATIONAL MECHANICAL CODES.
6. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE INTERNATIONAL MECHANICAL CODES.
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8. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE INTERNATIONAL MECHANICAL CODES.
9. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE INTERNATIONAL MECHANICAL CODES.
10. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE INTERNATIONAL MECHANICAL CODES.

PROJECT:

NIKAS GARAGE

27 Hudson Place

Red Lake, ON

FOUNDATION PLAN

Project Number: 25-015

Date: 04/04/2025

Drawn by: JN

Checked by: MO

Scale: A1

As indicated



Seal of the Professional Engineer
J. Nikas, P. Eng.
No. 12345
04/04/2025

NOTED CHECKED
DATE _____
BY _____

REGISTRATION INFORMATION
REQUIRED 1-603 THE GENTLEMANLY UNIFORM
DIVISION OF THE CHAIRMAN CODE 3012

TOM HICKS Ltd.
 10000 Highway 101
 Richmond, BC V6V 1G4
 Canada

ORIGINAL DESIGNER ETAMPED ORIGINATOR SHOWN IN BLUE
 INK ONLY
 NO OTHER MARKS FOR OBTAINING FURTHER AUTHORIZED
 REPRODUCING DRAWINGS IS PERMITTED



NO. 16, 6TH ST., NEW YORK, N.Y. 10014
112-61-6111 (1000) 112-61-6111
112-61-6111 (1000) 112-61-6111

CRIMINAL JUSTICE

- [illegible]

[illegible]

Summary

NIKLAS' GARAGE
27 Huston Place
Red Lake, ON

FRAMING DETAILS

Project number	25-193
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015-03

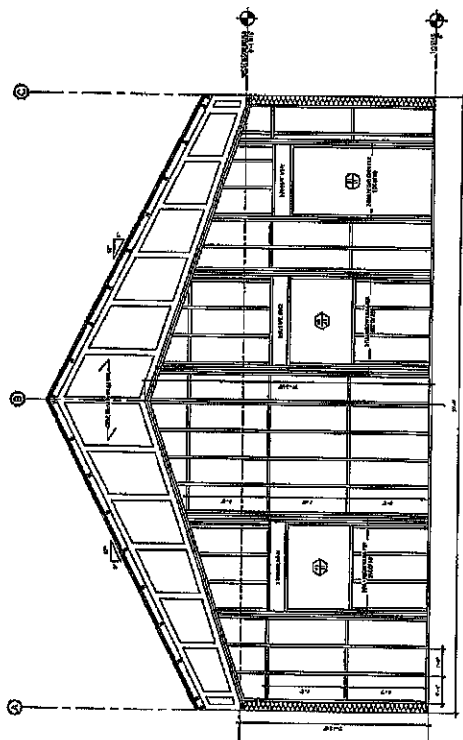
ALL INFORMATION CONTAINED
HEREIN IS UNCLASSIFIED

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McGraw-Hill

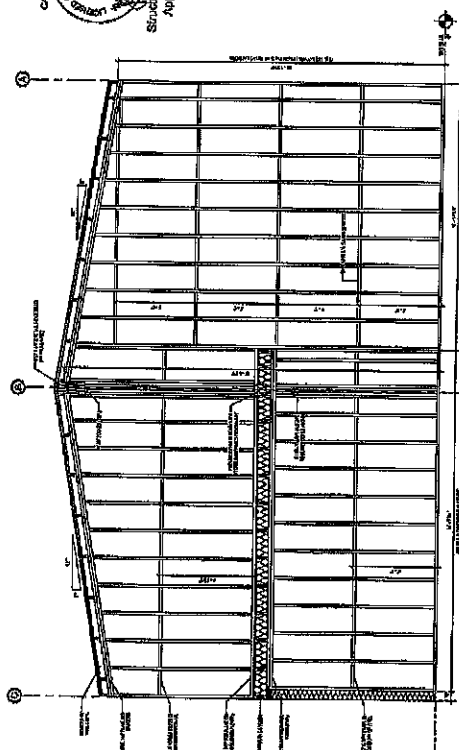
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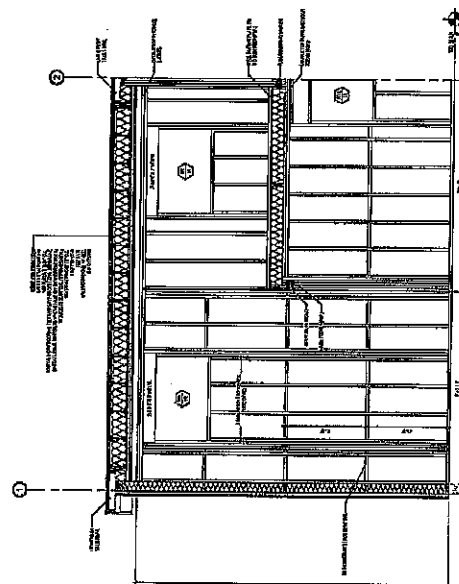
Santhi



① FRAMING DETAIL - RANGE WALL (GL3)



2 FRAMING DETAIL - RAKE WALL (GILD)



3 FRAMING DETAIL - TAIL WALL AT STAIR OPENING



Structural Review and
Approval Only

WINDOW SCHEDULE - HOUSE

Qty	Typ	Size	Description	Unit
2	W1	2' 0" X 3' 0"	MINIMUM 2" X 10" LVL	L1
1	W2	4' 0" X 3' 0"	MINIMUM 2" X 10" LVL	L2
1	W3	4' 0" X 3' 0"	MINIMUM 2" X 10" LVL	L3

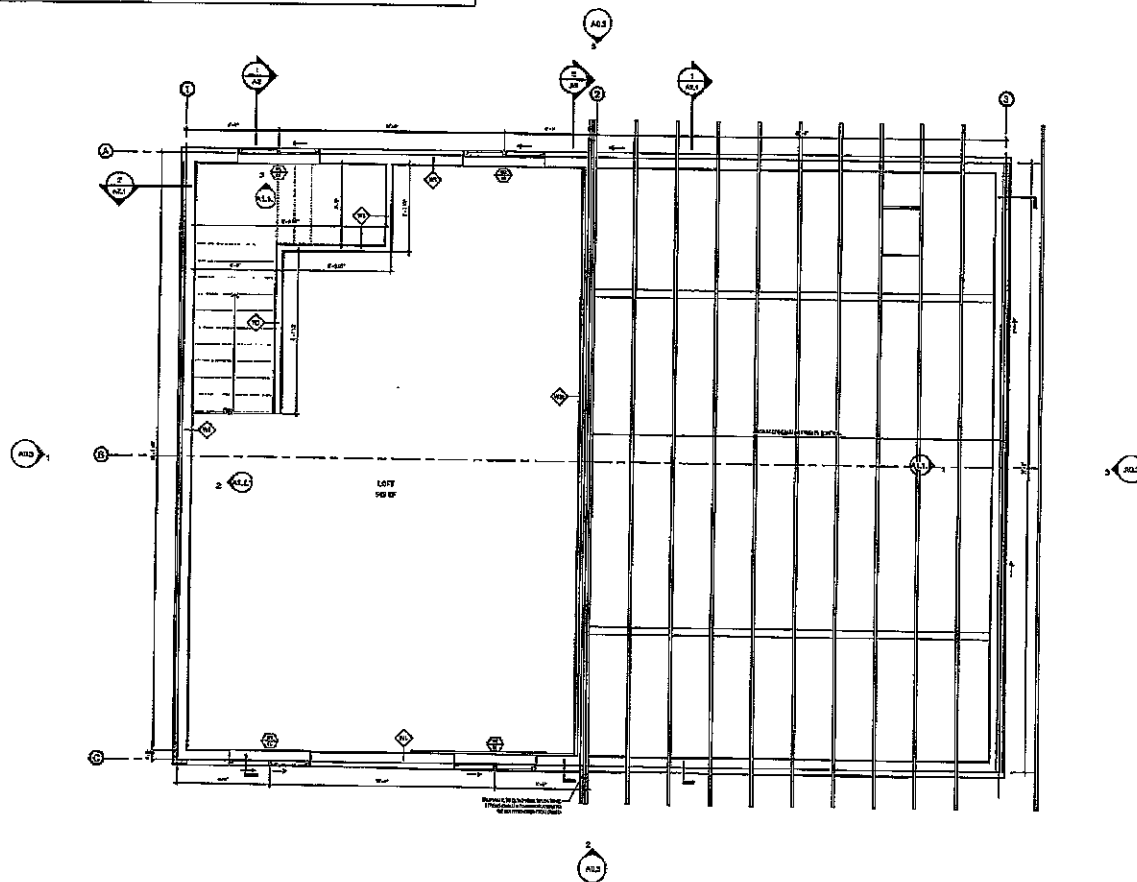
DOOR SCHEDULE - EXTERIOR

Qty	Function	Size	Description	Unit
1	Door	2' 0" X 3' 0"	MINIMUM 2" X 10" LVL	L1
1	Door	4' 0" X 3' 0"	MINIMUM 2" X 10" LVL	L2
1	Door	4' 0" X 3' 0"	MINIMUM 2" X 10" LVL	L3

LINTEL LEGEND:

- L1: 2-2X10 SPF., NO.#2
- L2: 3-1 3/4" X 11 7/8" 2.0E LVL C/W 2 CRIPPLES & 4 KING STUDS
- L3: 2-1 3/4" X 11 7/8" 2.0E LVL C/W 2 CRIPPLES & 4 KING STUDS
- L4: 3-2X12 SPF., NO.#2
- L5: 2-1 3/4" X 7 1/4" 2.0E LVL

ALL WINDOWS AND DOORS ROUGH OPENING DIMENSIONS ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY SPECS SUPPLIED BY MANUFACTURER



FLOOR PLAN - LOFT
24'0" x 24'0"

WALL LEGEND:

1	W1	2' 0" X 3' 0"	MINIMUM 2" X 10" LVL
2	W2	4' 0" X 3' 0"	MINIMUM 2" X 10" LVL
3	W3	4' 0" X 3' 0"	MINIMUM 2" X 10" LVL

THIS DOCUMENT HAS BEEN PREPARED FOR THE RESPONSE TO THE REQUEST FOR PROPOSALS FOR THE DESIGN AND CONSTRUCTION OF THE NIKLAS GARAGE. THE DESIGNER HAS REVIEWED THE REQUEST FOR PROPOSALS AND HAS DETERMINED THAT THE DESIGNER IS QUALIFIED TO PROVIDE THE DESIGN SERVICES REQUIRED FOR THE PROJECT. THE DESIGNER HAS REVIEWED THE REQUEST FOR PROPOSALS AND HAS DETERMINED THAT THE DESIGNER IS QUALIFIED TO PROVIDE THE DESIGN SERVICES REQUIRED FOR THE PROJECT.

DESIGNER'S SIGNATURE: [Signature]

DATE: 04/04/2025

PROJECT: NIKLAS GARAGE

LOCATION: 27 Huston Place, Red Lake, ON

PROJECT NUMBER: 25-015

DATE: 04/04/2025

DRAWN BY: JN

CHECKED BY: MO

SCALE: As indicated

- GENERAL NOTES:**
- ALL CONSTRUCTION TO COMPLY WITH THE ONTARIO BUILDING CODES AND REGULATIONS AND ALL REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS & COORDINATE ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 - ALL CONSTRUCTION TO BE CARRIED OUT WITH FULL COMPLIANCE TO THE ONTARIO BUILDING CODES AND REGULATIONS AND ALL REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS & COORDINATE ALL DIMENSIONS PRIOR TO CONSTRUCTION.
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 - CONTRACTOR TO VERIFY ALL DIMENSIONS & COORDINATE ALL DIMENSIONS PRIOR TO CONSTRUCTION.

No.	Description	Date

Project: NIKLAS GARAGE

Location: 27 Huston Place, Red Lake, ON

LOFT PLAN

Project number: 25-015

Date: 04/04/2025

Drawn by: JN

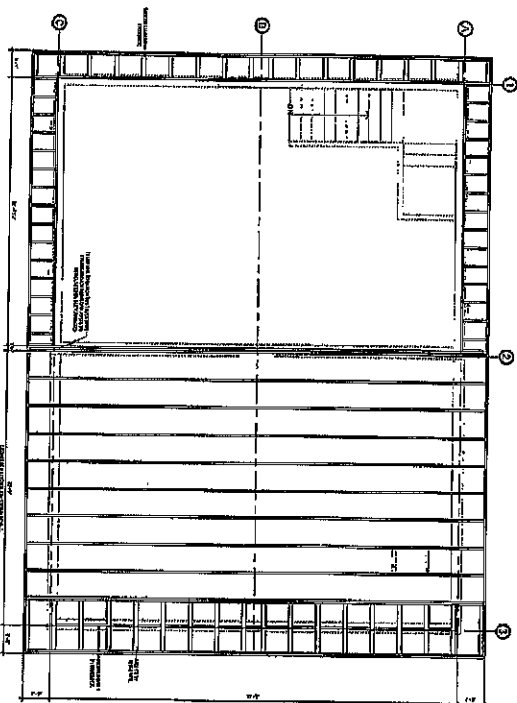
Checked by: MO

Scale: As indicated

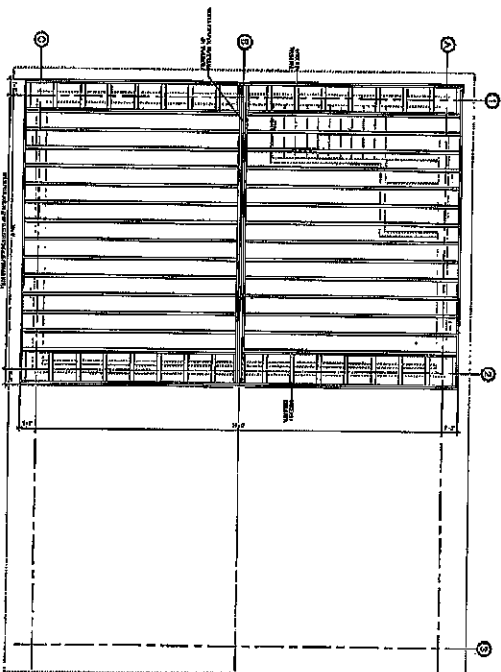


Structural Review and Approval Only

① FRAMING PLAN - 1ST FLOOR
1/4" = 1'-0"



② TRUSS LAYOUT - LOWER ROOF



⑤ TRUSS LAYOUT - LOFT ROOF
Wt = 1.25

Structural Review and
Approval Only[illegible]

NIKLAS' GARAGE

27 Huston Place
Port Jervis, NY

Red Lake, ON

TRUSS PLAN

2

1000

1

1

A13

2112

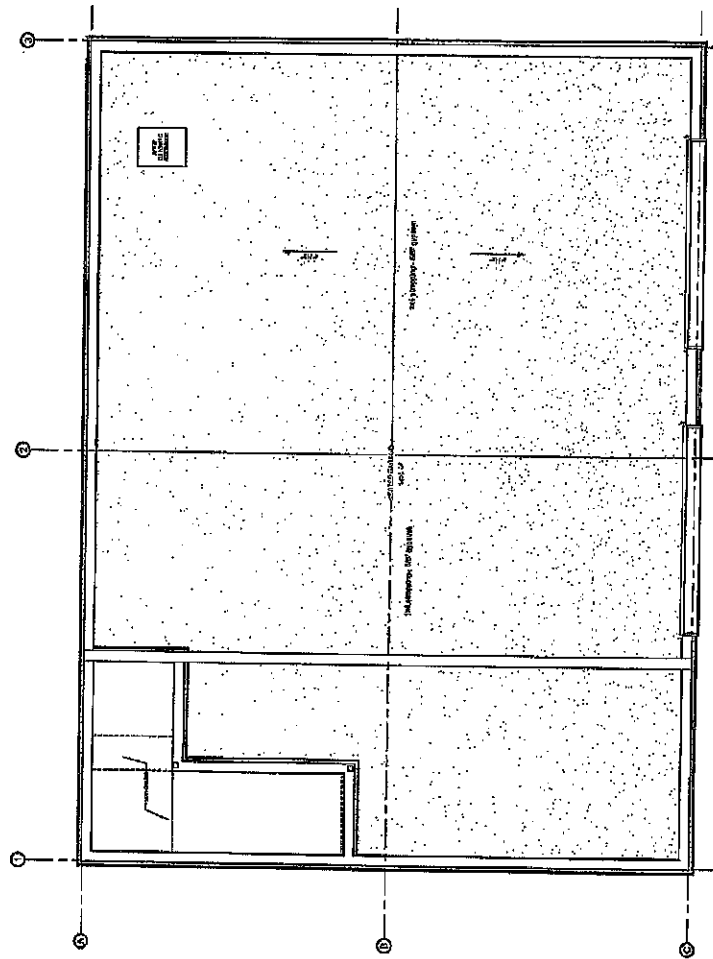
100

$$114 = 1 - 0$$

025-6

[illegible]

SYMBOLS



1/2" = 1'-0"

THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND LOCAL JURISDICTIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND LOCAL JURISDICTIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND LOCAL JURISDICTIONS.



TUMSECHER
 11000 10TH AVENUE, SUITE 100
 DENVER, CO 80231

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND LOCAL ORDINANCES.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND LOCAL ORDINANCES.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND LOCAL ORDINANCES.
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9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND LOCAL ORDINANCES.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND LOCAL ORDINANCES.

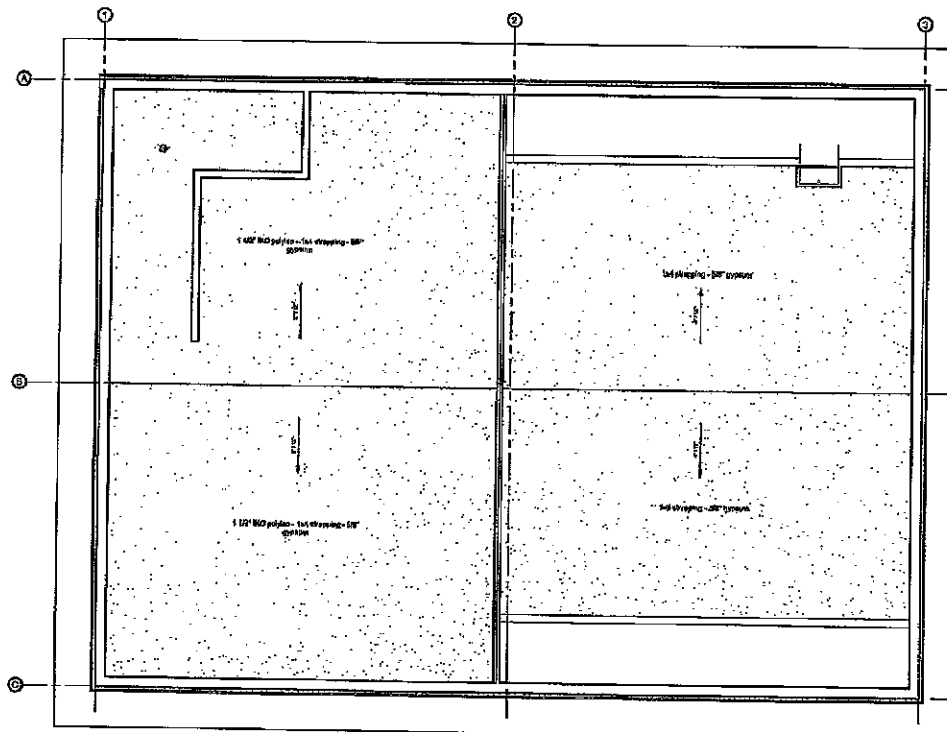
No.	Description	Date

PROJECT
 NIKLAS' GARAGE
 27 Huston Place
 Red Lake, ON

RCP

Project number: 25-016
 Date: 04/04/2025
 Drawn by: JN
 Checked by: MC
 Scale: A1.4
 As Indicated

② 注意: 此题中, 由于 $\frac{1}{2} \leq x \leq 1$, 故 $\frac{1}{2} \leq \frac{1}{x} \leq 2$, 故 $\frac{1}{x} - 1 \in [0, 1]$, 故 $\frac{1}{x} - 1 \in [0, 1]$, 故 $\frac{1}{x} - 1 \in [0, 1]$.



① RCP - LOFT
38" x 120"

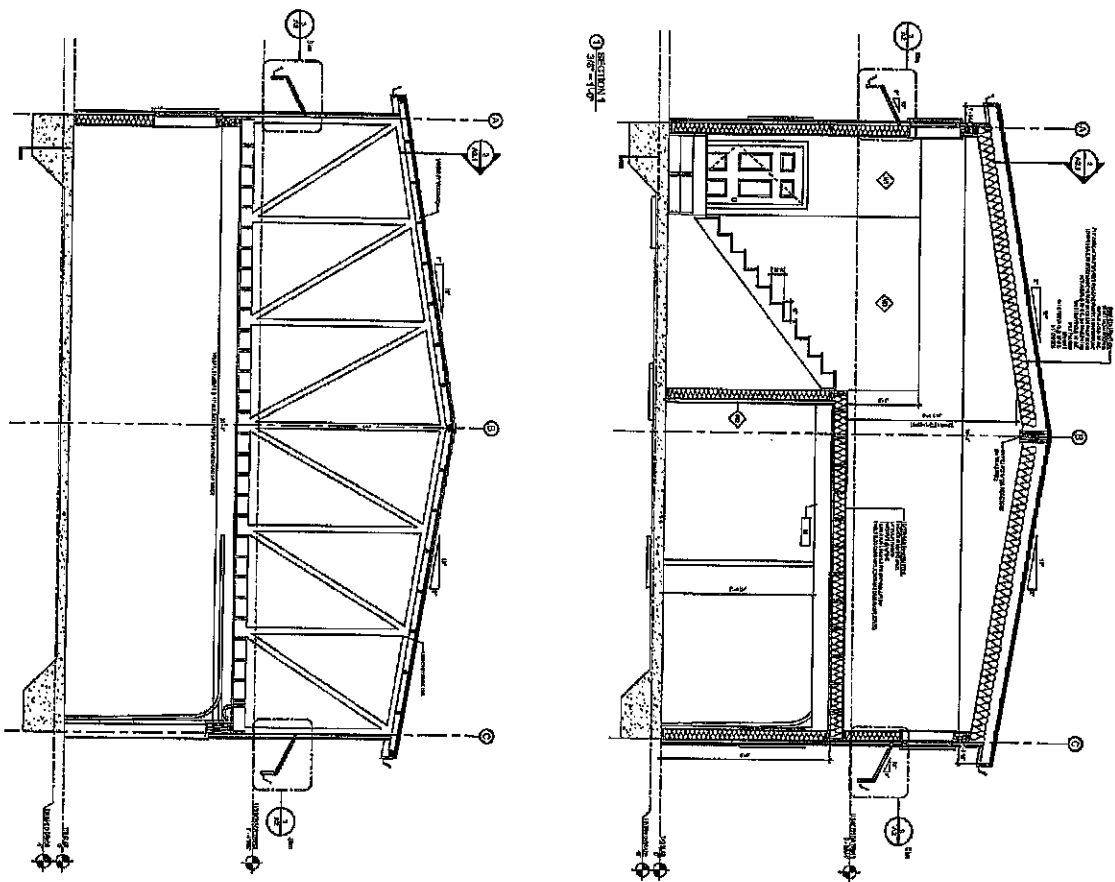
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GENERAL NOTES:

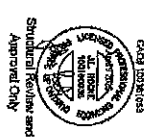
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[illegible]

Project: NIKLAS' GARAGE	
27 Huston Place Red Lake, ON	
RCP	
Project number	25-016
Date MM/DD/YYYY	04/04/2025
Drawn by	JN
Checked by	MO
A1.5	
Scale	As Indicated



SECTION 2
1:20 = 1" = 0'



SHOULD REVIEW AND
APPROVE ONLY

Project:
NKLAS GARAGE
27 Heston Place
Ridgely, ON

SECTIONS

Project number: 25-015
Date: 04/04/2025
Drawn by: JN
Checked by: MO
Scale: A2 As indicated

No.	Description	Date

NOTES:

1. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE LATEST BUILDING CODES AND REGULATIONS AND ALL APPLICABLE STANDARDS.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS.
3. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE LATEST BUILDING CODES AND REGULATIONS AND ALL APPLICABLE STANDARDS.
4. DO NOT SCALE DRAWINGS.

WALL LEGENDS

WALL
1. EXTERIOR WALL
2. INTERIOR WALL
3. PARTITION WALL
4. CURB WALL
5. FOUNDATION WALL
6. RETAINING WALL
7. OTHER WALL

ROOF
1. FLAT ROOF
2. GABLE ROOF
3. HIP ROOF
4. SHED ROOF
5. OTHER ROOF

FLOOR
1. CONCRETE FLOOR
2. WOOD FLOOR
3. OTHER FLOOR

CEILING
1. DRYWALL CEILING
2. WOOD CEILING
3. OTHER CEILING

DOOR
1. EXTERIOR DOOR
2. INTERIOR DOOR
3. OTHER DOOR

WINDOW
1. EXTERIOR WINDOW
2. INTERIOR WINDOW
3. OTHER WINDOW

STAIR
1. EXTERIOR STAIR
2. INTERIOR STAIR
3. OTHER STAIR

CHIMNEY
1. EXTERIOR CHIMNEY
2. INTERIOR CHIMNEY
3. OTHER CHIMNEY

SMOKE CHIMNEY
1. EXTERIOR SMOKE CHIMNEY
2. INTERIOR SMOKE CHIMNEY
3. OTHER SMOKE CHIMNEY

WATER TANK
1. EXTERIOR WATER TANK
2. INTERIOR WATER TANK
3. OTHER WATER TANK

WATER HEATER
1. EXTERIOR WATER HEATER
2. INTERIOR WATER HEATER
3. OTHER WATER HEATER

WATER PUMP
1. EXTERIOR WATER PUMP
2. INTERIOR WATER PUMP
3. OTHER WATER PUMP

WATER VALVE
1. EXTERIOR WATER VALVE
2. INTERIOR WATER VALVE
3. OTHER WATER VALVE

WATER METER
1. EXTERIOR WATER METER
2. INTERIOR WATER METER
3. OTHER WATER METER

WATER SINK
1. EXTERIOR WATER SINK
2. INTERIOR WATER SINK
3. OTHER WATER SINK

WATER TUB
1. EXTERIOR WATER TUB
2. INTERIOR WATER TUB
3. OTHER WATER TUB

WATER SHOWER
1. EXTERIOR WATER SHOWER
2. INTERIOR WATER SHOWER
3. OTHER WATER SHOWER

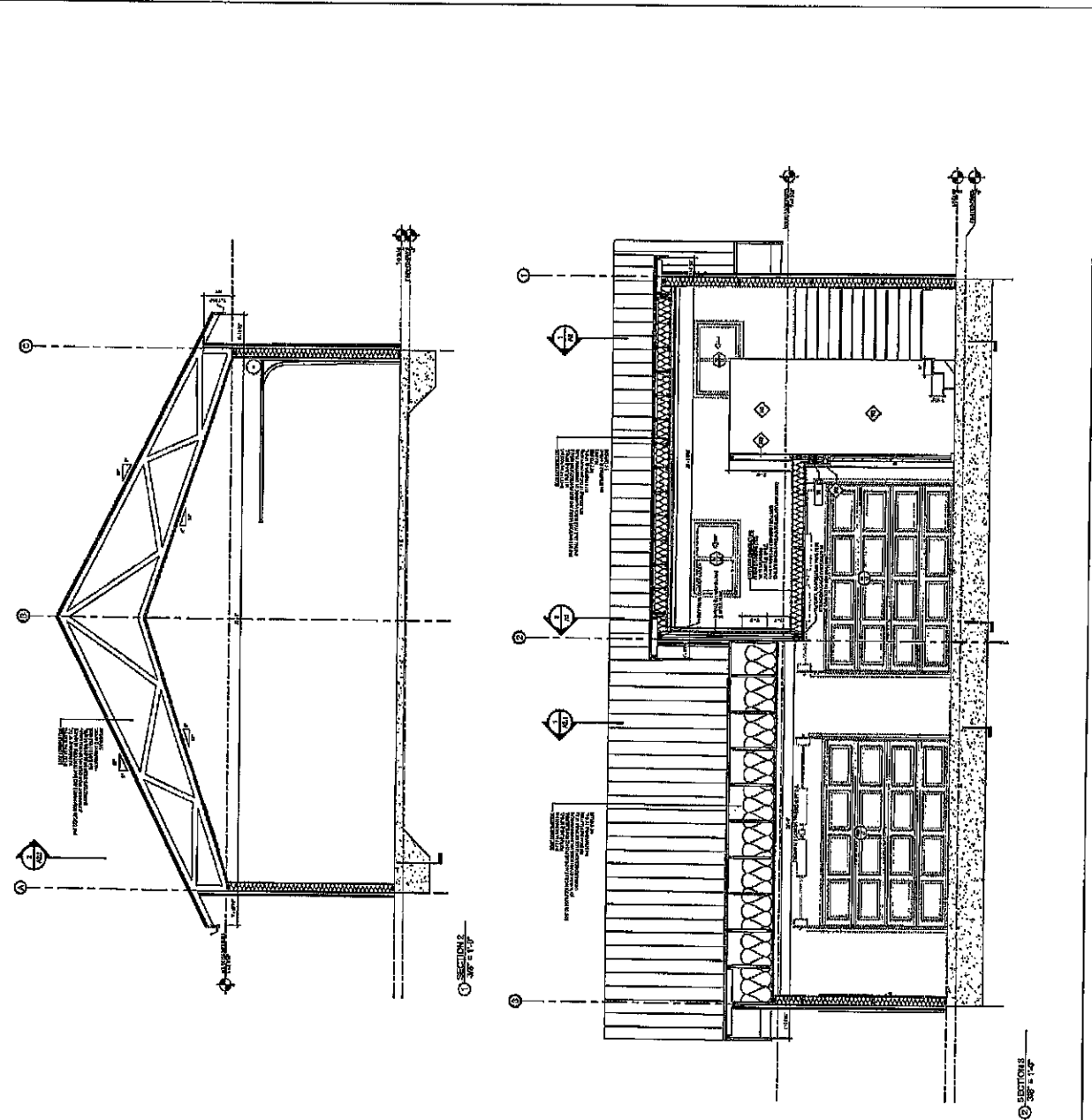
WATER TOILET
1. EXTERIOR WATER TOILET
2. INTERIOR WATER TOILET
3. OTHER WATER TOILET

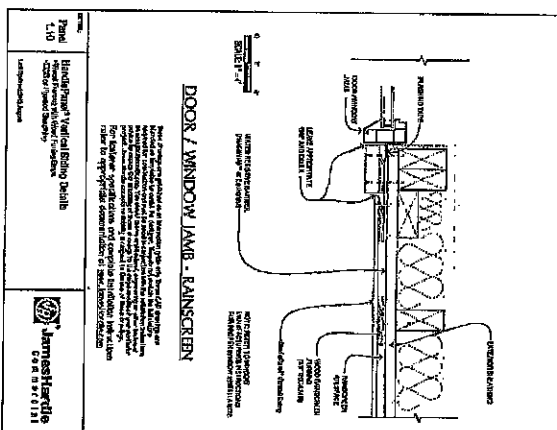
WATER SINK
1. EXTERIOR WATER SINK
2. INTERIOR WATER SINK
3. OTHER WATER SINK

WATER TUB
1. EXTERIOR WATER TUB
2. INTERIOR WATER TUB
3. OTHER WATER TUB

WATER SHOWER
1. EXTERIOR WATER SHOWER
2. INTERIOR WATER SHOWER
3. OTHER WATER SHOWER

WATER TOILET
1. EXTERIOR WATER TOILET
2. INTERIOR WATER TOILET
3. OTHER WATER TOILET



[illegible]

NIKLAS' GARAGE

27 Huston Place
Rad Lake, ON

SIDING DETAILS

Project number 23-015

04/04/2025

Labeled by
NIA

 	
---	---

A/3

Figure 1

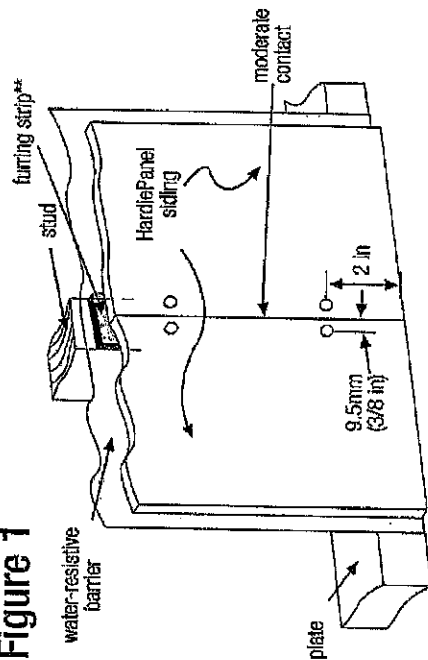
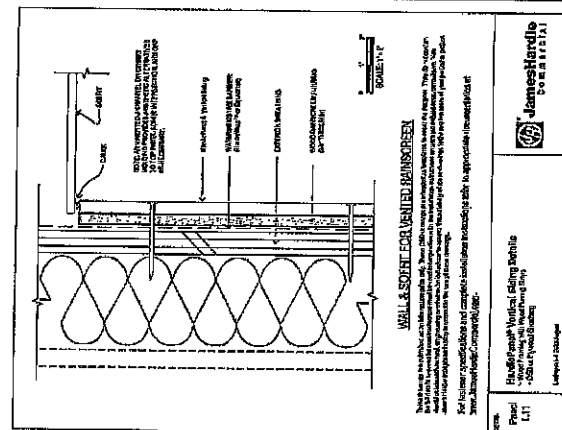
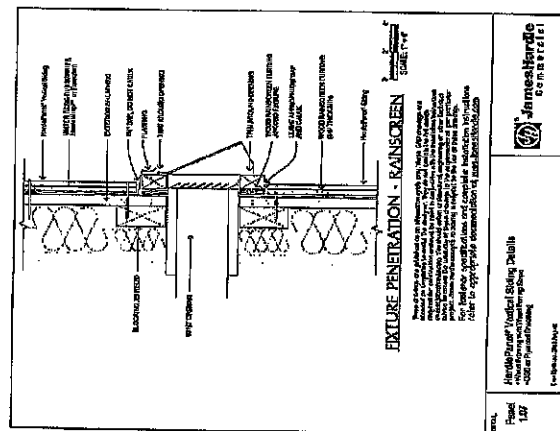
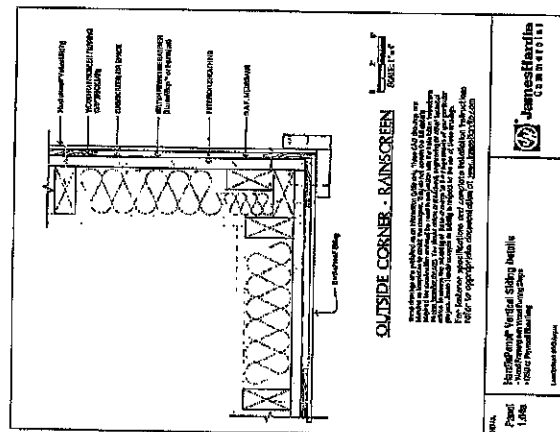
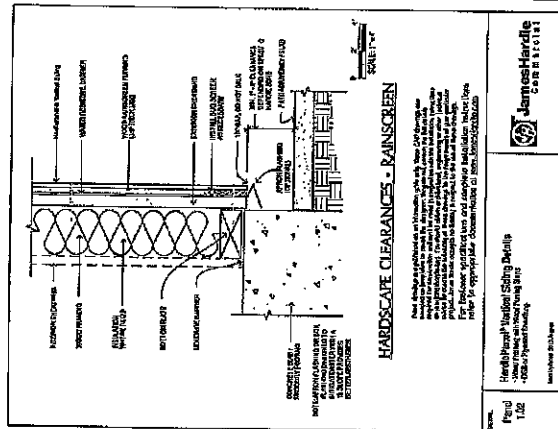
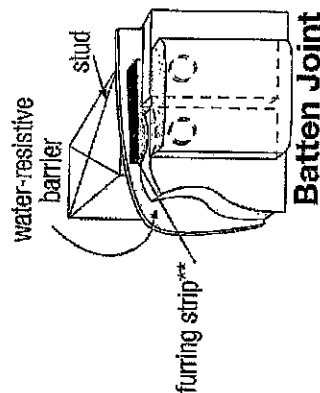


Figure 2

[illegible]

Project:	NIKLAS' GARAGE 27 Hudson Place Red Lake, ON		
SIDDING DETAILS			
Project number	25-015		
Job Description	04/04/2025		
Drawn by	N/A		
Checked by	N/A		
Scale	A3.1		

[illegible][illegible]

ALL WORK TO BE PERFORMED BY AN ELIGIBLE CONTRACTOR ONLY.

CONTRACTOR TO VERIFY ALL DIMENSIONS, COORDINATE WITH ALL AFFECTING DEPARTMENTS, OBTAIN NECESSARY PERMITS, AND SECURE ALL NECESSARY MATERIALS. CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS, INCLUDING BUT NOT LIMITED TO, ALL DIMENSIONS, COORDINATE WITH ALL AFFECTING DEPARTMENTS, OBTAIN NECESSARY PERMITS, AND SECURE ALL NECESSARY MATERIALS. CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS, INCLUDING BUT NOT LIMITED TO, ALL DIMENSIONS, COORDINATE WITH ALL AFFECTING DEPARTMENTS, OBTAIN NECESSARY PERMITS, AND SECURE ALL NECESSARY MATERIALS.

Figure 1

[illegible]

Subject: **NIKLAS' GARAGE**
27 Huston Place
Red Lake, ON

SIDING DETAILS	
Order number	25-015
Quantity	04/04/2025
Issued by	N/A
Issued by	N/A
A3.1	



FILE NUMBER
D13-25-01

NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT APPLICATION FOR:



Minor Variance – s. 45(1)



Permission – s. 45(2)

APPLICATION BY Niklas Zwicker and Aurore Seguin

LOCATION OF PROPERTY 27 Huston Place, Red Lake

PURPOSE OF APPLICATION To receive relief from requirements of the Zoning By-Law. The applicant is requesting relief from Section 3.2(g) of the Zoning By-Law, to increase the maximum height of an accessory building to 5.5 meters.

WE, the undersigned, in making the decision upon this application, have considered whether or not the permission requested was minor and desirable for the appropriate development or use of the land, building or structure, and that the general intent and purpose of the zoning by-law and the official plan will be maintained or, in the case of a change in a use in a property which is lawfully non-conforming under the by-law, as to whether or not this application has met the requirements of subsection 45(1) of the *Planning Act*, concur in the following decision and reasons for the decision made on the **13th day of May, 2025.**

DECISION:

Approved:



Defeated:



CONDITIONS:

REASONS FOR DECISION:

The requested minor variance maintains the general intent and purpose of the Zoning By-law and is considered minor.

SIGNATURES OF MEMBERS

.....
Jerrett Landry, Chair

.....
Enid Carlson, Member

.....
Brenda Cooke, Member

.....
Alistair McRae, Member

.....
Vacant

.....
Vacant

Appeal – The last date for filing a notice of this decision is 20 days after the notice of decision is given.

Any such appeal must be filed with the secretary-treasurer of the committee and must set out the objection to the decision and the reasons in support of the objection and must be accompanied by the fee required by the Local Planning Appeal Tribunal.

Person – appeal limitation – Only individuals, corporations and public bodies may appeal decisions in respect on an application for a minor variance or permission to the Local Planning Appeal Tribunal. A notice of appeal may not be filed by an unincorporated association or group. However a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Other Applications – if known, indicate if the subject land is the subject of an application under the Act for:

- | | | |
|---|----------------------|---------------|
| ☐ Approval of a plan of subdivision (under section 51) | File #N/A..... | Status: |
| ☐ Consent (under section 53) | File #N/A..... | Status: |
| ☐ Previous application (under section 45) | File #N/A..... | Status: |

CERTIFICATION

I, Michelle Hendry, certify that the information included herein is a true copy of the decision of the Committee with respect to the application recorded therein.

Dated this 13th day of May, 2025

.....
Michelle Hendry, CAO/Secretary-Treasurer