



Staff Report

NO. PL-2025-003

Department:	Planning	Prepared By:	Hatem Omran, Planner
Report To:	Council	☐ Open Meeting	Meeting date.
		☐ Closed Meeting	Meeting date.
	Committee of the Whole	☐ Open Meeting	Meeting date.
		☐ Closed Meeting	Meeting date.
	Committee of Adjustment	☒ Any Meeting	July 08, 2025
Subject:	Application for Minor Variance (File D13-25-03): 4 Sunset Rd		
CAO Approval:	Michelle Hendry		

A. Recommendation:

THAT the Municipality of Red Lake Committee of Adjustment receives for information Staff Report PL-2025-003 (Application for Minor Variance (File D13-25-03): 4 Sunset Rd), and;

THAT the Committee of Adjustment approves Application D13-25-03; 4 Sunset Rd to permit the increase in the maximum allowable height of an accessory building to be 6.0 meters, subject to the conditions as noted in this report.

Conditions of the Minor Variance Approval:

1. Upper floor of the garage to have a maximum floor area of 512 ft2.
2. Roof of garage shall be a 7/12 pitch and shall not include any dormers or secondary rooflines.
3. Garage shall not be connected to a septic system or water supply, nor shall the garage include any space utilized or capable of being utilized for residential/living purposes.

B. Background:

The Municipality received an application for a Minor Variance from Devin Parks on June 5th, 2025. The application included a sworn declaration for the prescribed information duly commissioned by a Commissioner of Oaths.

The Property owners are seeking relief from section 3.2 (g) of the Zoning By-law to permit an increase in the maximum allowable height of an accessory building (proposed garage) on their property at 4 Sunset Road, Red Lake.

Zoning By-law 1930-14 as amended, permits a maximum height of 4.5 meters (14.76 feet) for the proposed garage and the applicant is requesting approval to increase the height to 6.0 meters (18 feet).

The subject property is zoned Commercial (C4) and encompasses an area of approximately 4.2 acres, with 587.03 feet of waterfront frontage. There are 9 cabins, 6 accessory buildings and a house utilized for residential purposes on the property.

Section 3.2 (g) of The Zoning By-Law states:

- i. Accessory buildings and structures shall not exceed 4.5 meters in height, except for permitted accessory dwelling units over an accessory use, in which case such accessory building shall not exceed 6 meters in height. The heights of garden suites, and guest cabins are governed by Section 3.3 of this By-Law.
- ii. Despite the above, no accessory building or structure shall exceed the height of the main building on the lot.

Analysis

In consultation with the Municipal Planning Consultant Chris Jones, the request for relief from Section 3.2(g) i and ii of the Municipality of Red Lake current Zoning By-law (Zoning By-law) is deemed permissible, subject to the approval of the Committee of Adjustment and support of surrounding property owners.

The proposed accessory building or structure will not exceed a maximum lot coverage of 3% of the total lot area, equivalent to 0.125 acres, as stipulated in Section 8.2 – Zone Requirements: Accessory Buildings and Structures, of the Zoning By-law.

The proposed height of the garage is 6.0 meters (19.7 feet) and it will not exceed the height of the residential dwelling which is 8.8 meters (28.9 feet)

The owner has advised that the proposed accessory building (garage) will not be utilized for any form of residential or dwelling purposes in the future.

The subject property is not governed by any site-specific provisions, and therefore, there are no regulatory constraints preventing the construction of the accessory building or structure.

C. Financial Considerations and Budget Impact:

There are no financial or budget implications for the Municipality.

D. Council Policy and Guidelines:

This application for a Minor Variance is governed by Zoning By-Law 1970-14 as amended.

E. The Municipality of Red Lake Strategic Plan:

This application for a Minor Variance is not linked to the Municipal Strategic Plan

F. Alternatives:

The Committee of Adjustment may choose not to approve the proposed Minor Variance.

Submitted By:



Hatem Omran, Planner

1. Appendix 1: Public Notice of Application and Public Meeting.
2. Appendix 2: Complete Minor Variance Application for zoning By-law amendment.
3. Appendix 3: Draft Zoning By-law amendment.



**NOTICE OF COMPLETE APPLICATION AND PUBLIC MEETING FOR
MINOR VARIANCE TO THE ZONING BY-LAW FILE NUMBER: D13-25-03**

Planning Act, R.S.O. 1990 C.p.13, S.45 (1)

June 11, 2025

At the date and location below, the Municipality of Red Lake Committee of Adjustment will be hearing comments on an application for Minor Variance, described as follows.

LOCATION AND PROPERTY DESCRIPTION:

4 Sunset Road. Please refer to the location sketch to the right.

PURPOSE AND EFFECT:

Request relief from Section 3.2(g) of the Zoning By-Law to increase the maximum height of an accessory building, from 4.5 m (14.76 ft) in height to 6.0m (19.7 ft) in height.

OTHER APPLICATIONS:

None at this time.

ADDITIONAL INFORMATION: Complete application for the proposed Minor Variance is available for inspection at the Municipal Office.

PUBLIC HEARING: You are entitled to attend the public hearing in person to express your views about this application or you may submit written comments to be read by the Committee at the hearing. If you wish to make written comments on this application, they may be forwarded to the secretary of the Committee at the address below. If you are aware of any person interested in or affected by this application who has not received a copy of this notice you are requested to inform that person of this hearing.

FAILURE TO ATTEND HEARING: If you do not attend the hearing it may proceed in your absence and, as otherwise provided in the *Planning Act*, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION: A copy of the decision of the Committee will be sent to the applicant and to each person who appeared in person or by council at the hearing and who has filed with the secretary a written request to receive the notice of the decision.

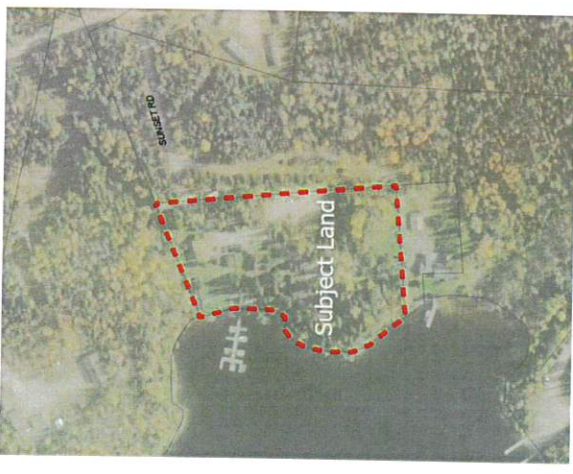
DATE AND TIME OF HEARING: Tuesday, July 8th, 2025, 5:00 p.m.

PLACE AND ADDRESS: Council Chambers of the Municipal Office at 2 Fifth Street, Balmertown.

MAILING ADDRESS: Secretary of the Committee of Adjustment for The Corporation of the Municipality of Red Lake. P.O. Box 1000, Balmertown, ON P0V 1C0.

Personal information that may accompany a submission will be collected under the authority of the Planning Act and may form part of the public record which may be released to the public.

**If you may have any questions, please contact the Planning Department by calling
(807) 700-5089, or by Email: Hatem.Omran@redlake.ca**





MUNICIPALITY OF RED LAKE APPLICATION FOR MINOR VARIANCE TO THE ZONING BY-LAW

Planning Act, R.S.O. 1990, c. P.13, s. 45
O. Reg. 200/96, Schedule

FILE NUMBER

D13-25-03

☐ APPLICATION FEE ENCLOSED - \$300.00

THE INFORMATION IN THIS APPLICATION AND ALL OTHER INFORMATION, STUDIES, REPORTS AND COMMENTS RECEIVED RELATIVE TO THE PROCESSING OF THIS APPLICATION IS COLLECTED FOR THE PURPOSE OF CREATING A RECORD THAT IS AVAILABLE TO THE GENERAL PUBLIC.

NAME OF OWNER	Devin Parks			NAME OF AGENT, SOLICITOR OR PLANNING CONSULTANT
ADDRESS	4 Sunset Rd Red Lake 238			STREET ADDRESS
POSTAL/ZIP CODE	POV 2M0	PROV./STATE	ON	POSTAL BOX
TELEPHONE	1-807-728-2792			PROV./STATE
EMAIL	fishsunsetlodge@gmail.com			TELEPHONE
DOES ANY OTHER PARTY HAVE INTEREST IN THE PROPERTY, SUCH AS CHARGE, MORTGAGE, OR EASEMENT?			EMAIL	
yes				
PLEASE PROVIDE THE NAMES AND ADDRESSES FOR THESE PARTIES				
Ron Parks + Donna Williams - 12 down Drive Red Lake				

PROPERTY INFORMATION:

POV 2M0 PO box 734

LEGAL DESCRIPTION OF THE SUBJECT LAND, SUCH AS MINING PLAN DESCRIPTION, REGISTERED PLAN AND LOT OR PART NUMBERS
KR 868 - RFD 164
STREET ADDRESS AND TOWN SITE NAME
4 sunset Rd Red Lake

DIMENSIONS OF SUBJECT LAND
Frontage (metres): 171.90
Depth (metres): 91.44 m
Area (hectares): 1.70

CURRENT DESIGNATION WITHIN THE RED LAKE OFFICIAL PLAN	CURRENT ZONING WITHIN THE ZONING BY-LAW
	C4
OFFICIAL PLAN - HAS A SITE SPECIFIC DESIGNATION BEEN APPLIED, AND IF SO, WHAT LAND USES ARE PERMITTED OR NOT PERMITTED?	
No.	
ZONING BY-LAW - HAS SITE SPECIFIC ZONING BEEN APPLIED, AND IF SO, WHAT LAND USES ARE PERMITTED OR NOT PERMITTED?	
Rural Commercial - Tourist Cabin Establishment - Already permitted	

DATE SUBJECT LAND WAS ACQUIRED ON:

May 9th 2023

WHAT IS THE EXISTING USE OF THE PROPERTY? WHAT IS THE LENGTH OF TIME THIS USE HAS OCCURRED?

Tourist Cabin Establishment. - Est 1948

EXISTING USE OF ABUTTING PROPERTIES

NR to the rear.

I to the north

R4 to the South

PROPOSAL INFORMATION:

RELIEF - NATURE AND EXTENT OF RELIEF FROM THE ZONING BY-LAW:

Height off Accessory Building above Current
limit of 4.5M. -> proposed height of 6.0M.

WHY CAN THE PROPOSED USE NOT COMPLY WITH THE ZONING BY-LAW?

in order to fit Equipment in main bay 12 ft.
Ceiling is Required. additional Storage provided
by garage loft area with 7 1/2 Pitch.

PARTICULARS OF ALL BUILDINGS AND STRUCTURES ON OR PROPOSED FOR THE SUBJECT LAND.
FOR EXAMPLE, PLEASE SPECIFY THE GROUND FLOOR AREA, GROSS FLOOR AREA, NUMBER OF STOREYS, WIDTH, LENGTH, HEIGHT, ETC.

EXISTING:

8525 sq ft of Buildings. 9 cabins as well as 6 accessory Buildings.

PROPOSED:

1280 sq ft Garage with 512 sq ft loft storage.

HAS ANY OWNER PREVIOUSLY APPLIED FOR MINOR VARIANCE IN RESPECT OF THE SUBJECT PROPERTY? YES ☐ NO ☒

IF YES, PLEASE PROVIDE THE FILE NUMBER AND DECISION IF GIVEN:

STORM DRAINAGE is provided to the subject land by:

☐ Sewers

☐ Ditches

☐ Swales

☒ Other means (specify) Natural run off

SEWAGE DISPOSAL is or will be provided to the subject land by:

☐ Publicly-owned/operated sewage system

No Septic/sewage to new Building

☐ Pit privy

☒ Privately-owned/operated individual septic system

☐ Other means (specify)

☐ Privately-owned/operated communal septic system

*Properties to be serviced by private sewage systems will require a preliminary soils inspection. It is the responsibility of the applicant to arrange an inspection with the Northwestern Health Unit.

*If the requested amendment would permit development on privately owned and operated individual or communal sewage system, and more than 4500 litres of effluent would be produced per day as a result of the proposed development, a servicing options report and a hydrogeological report must be provided.

POTABLE WATER is or will be provided to the subject land by:

- No water to Building

- ☐ Publicly-owned/operated piped water system
☐ Privately-owned/operated individual well
☐ Privately-owned/operated communal well
☐ Lake or other water body
☐ Other means (specify)

OTHER APPLICATIONS – if known, indicate if the subject land is or will be the subject of an application under the Act for:

- ☐ approval of a plan of subdivision (under section 51) File Status
- If Yes please describe in detail:
- ☐ consent (under section 53) File Status
- If Yes please describe in detail:
- ☐ previous application (under section 34) File Status
- If Yes please describe in detail:

Are you aware of any *Planning Act* Applications within currently being proposed for any properties within 120 metres of the subject property?

No

ACCESS – Access to the subject land will be by:

- ☐ Provincial Highway
☐ Year round maintained Municipal road
☒ Private road
☐ Seasonally maintained Municipal road
☐ Right-of-way
☐ Water

WATER ACCESS – Where access to the subject land is by water only:

Docking facilities (specify)

distance from subject land

distance from nearest public road

Parking facilities (specify)

distance from subject land

distance from nearest public road

EXISTING BUILDINGS AND STRUCTURES – Provide the following information for all buildings and structures. Attach a separate page if necessary.

TYPE -

Front lot line setback:

Height in metres:

DATE CONSTRUCTED

Rear lot line setback:

Dimensions:

Side lot line setback:

Floor Area:

TYPE -

Front lot line setback:

Height in metres:

DATE CONSTRUCTED

Rear lot line setback:

Dimensions:

Side lot line setback:

Floor Area:

PROPOSED BUILDINGS AND STRUCTURES – Provide the following information for all buildings and structures. Attach a separate page if necessary.

TYPE -	Front lot line setback:	Height in metres:
	Rear lot line setback:	Dimensions:
	Side lot line setback:	Floor Area:
	Side lot line setback:	
TYPE -	Front lot line setback:	Height in metres:
	Rear lot line setback:	Dimensions:
	Side lot line setback:	Floor Area:
	Side lot line setback:	

What is the expected type and volume of waste to be produced on the subject land? How will this waste be managed or treated?

Grey water (sinks) as a result of indoor plumbing OL produced.

Black water (toilet) as a result of indoor plumbing _____

Food wastes _____

Recyclable household wastes (plastic, glass, aluminum) _____

Building hardware wastes (treated wood, shingles, metal) _____

CHECK AS APPLICABLE:

Does the Owner own any adjoining property?
If Yes please describe in detail: _____ ☐ Yes ☒ No

Is there any reason to believe that the site may be environmentally contaminated?
If Yes please describe in detail: _____ ☐ Yes ☒ No

Has an industrial or commercial use been on or adjacent to the property?
If Yes please describe in detail: MNR FIRE BASE to north end. ☒ Yes ☐ No

Has lot grading been changed by adding or removing earth or other material?
☒ Yes ☐ No

Has the Ministry of the Environment or any other ministry advised the owners that the property is or may be contaminated?
If Yes please describe in detail: _____ ☐ Yes ☒ No

Are there any known Natural Heritage values existing on the site?
_____ ☐ Yes ☒ No

DATE SUBJECT LAND WAS ACQUIRED ON:

May 9th 2023

ARE THE MINERAL RIGHTS CROWN OR PATENTED?

Patented

ARE THERE ANY RESERVATIONS ON THE PATENT OR TITLE OF THE SUBJECT LOCATION?

NO

IF FRONTED BY WATER, IS THE SHORELINE RESERVE PATENTED OR CROWN LAND? IF CROWN, HOW WIDE IS THE RESERVATION?

NO - owned.

Is there any other information that you think may be useful to the Municipality in reviewing this Application for Minor Variance? If so, explain below or attach a separate page with this information.

SITE PLAN SKETCH:

PLEASE TAKE TIME TO PROVIDE A GOOD SKETCH.

PRINT CLEARLY. IT SHOULD DISPLAY THE FOLLOWING INFORMATION TO THE BEST OF YOUR KNOWLEDGE:

- Prepared on letter paper, overtop of a photocopy of the survey is ideal. For a more detailed or larger scaled sketch, you may provide a second page.
- North arrow, scale and legend
- The boundaries of the owner's property and dimensions
- The boundaries of the property subject to the application including area and dimensions if different from above
- The location, dimensions (height, length, and width) and type of all **existing** and **proposed** buildings and structures on the subject land, indicating the distance of the buildings or structures from other buildings and from the front yard line, rear yard line and the side yard lot lines.
- The location or proposed location of any sewage disposal systems, including pit privies, grey water, or septic systems
- The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, transmission lines, roads, watercourses, slopes, drainage ditches, river or stream banks, wetlands, wooded areas, and wells
- The existing use(s) of lands on adjacent properties (i.e. residential, automotive repair, retail)
- The proposed development, including the area and dimensions of any new lots to be created, the size and location of buildings, parking spaces, landscaping, amenity areas, etc.
- As applicable - fire access route, outdoor equipment and storage, walkway, curbing, fencing
- Existing municipal infrastructure immediately adjacent to the site (roads, lane, sidewalks, existing entrances, boulevard trees, fire hydrants, hydro poles, easements, etc.)
- The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right-of-way.
- If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- The location and nature of any easements affecting the subject land.

AUTHORIZATION OF THE OWNER FOR AN AGENT TO MAKE APPLICATION

I/We the undersigned, being the owner of the subject land, hereby authorize to be the applicant in the submission of this application. This application has been submitted with my/our full knowledge and endorsement.



Signature of 1st Owner or Signing Officer



Signature of Witness

June 5 2025
Date

Signature of 2nd Owner or Signing Officer

AFFIDAVIT OR SWORN DECLARATION FOR THE PRESCRIBED INFORMATION

I/We, _____ of the _____ of _____
_____ in the _____ (Province) _____
_____ (Municipality/ City)

solemnly declare that the statements and any maps or plans submitted with this application are true, and I/We make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue and provided by me are true and I make this solemn of the Canada Evidence Act.

Sworn (or declared) before me at the _____ of _____
in the _____ of _____
This _____ day of _____.

Commissioner for Taking Affidavits

1st Owner/ Signing officer/ Authorized Agent

Affix commissioner stamp here:

2nd Owner/ Signing officer/ Authorized Agent

This section for Red Lake Municipal office use only:

Date complete application received: _____



AgMaps

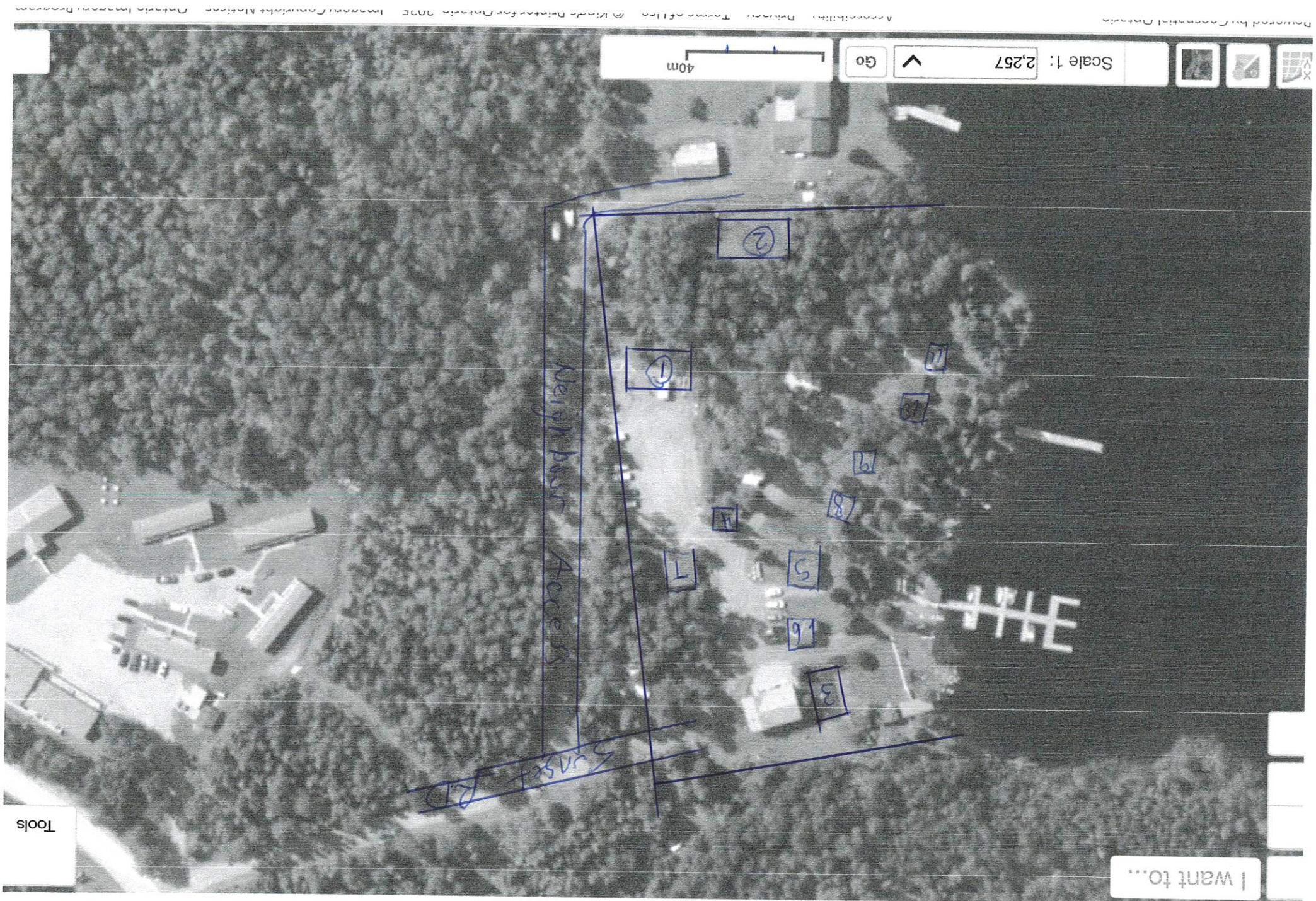
Ministry of Agriculture, Food, and Agribusiness

Click or tap an existing drawing to begin editing it.



I want to...

Tools



Legend.

1- proposed site for Garage.

2- Camp Septic. - 100 ft from garage

3- House Septic. - 200 ft from garage

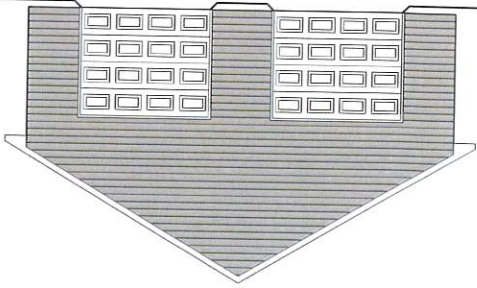
4- Shower house. 100 ft from garage

5- Cabin 2 140 ft from garage.

6- Cabin 1 - 180 ft from garage.

7- Cabin 9. 120 ft from garage.

8- 11 - Cabins 3, 4, 5, 6 - < 100 ft.



TITLE PAGE	A-1
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CLIMATIC & DESIGN LOAD DATA	
Red Lake, Ontario	
ROOF LOADING	KPA (psf)
GROUND SNOW LOAD Ss	2.4 (50.13 psf)
RAIN LOAD Sr	0.3 (6.27 psf)
SNOW LOAD FACTOR Cp	0.56
ROOF DESIGN SNOW LOAD	1.62 (33.83 psf)
ROOF & CEILING DESIGN DEAD LOAD	0.57 (12.00 psf)
FLOOR LOADING	
GROUND & SECOND FLOOR	1.92 (40.00 psf)
FLOOR/CEILING DESIGN DEAD LOAD	0.72 (15.00 psf)
WIND LOADING	
1/50 WIND PRESSURE	0.3 (6.27 psf)
1/10 WIND PRESSURE	0.23 (4.80 psf)
TEMPERATURE	
DEGREE DAYS BELOW 18°C	6220
SOIL	
ASSUMED ALLOWABLE BEARING PRESSURE AT FOOTING FOUNDING ELEVATION(S)	150 (312 psf)
FREEZING INDEX (°F) - 100 YR RETURN PERIOD	4640
ELEVATION (METERS)	360

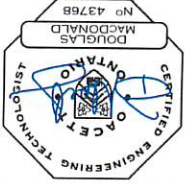
THE DESIGN DEAD LOADS SPECIFIED ABOVE ARE BASED ON THE DRAWINGS AND MATERIALS ARE PROPOSED THE CONTRACTOR MUST NOTIFY THE DESIGNER PRIOR TO CONSTRUCTION OF ANY LOAD-BEARING ELEMENTS THAT MAY BE ADVERSELY AFFECTED.



GENERAL NOTE: These drawings are not to be scaled. All dimensions must be verified by the contractor prior to commencement of any work. Any discrepancies must be reported directly to the designer.



1657-2 Red Lake Home Hardware Building Centre



IBD remains in possession of the original drawing as purchased. It is a criminal offence to electronically alter our printed design information in any way. If you require an unlocked PDF, open the PDF in Adobe Reader or a PDF writer and print a PDF. This flattens all of our information so it cannot be changed and removes the security password.

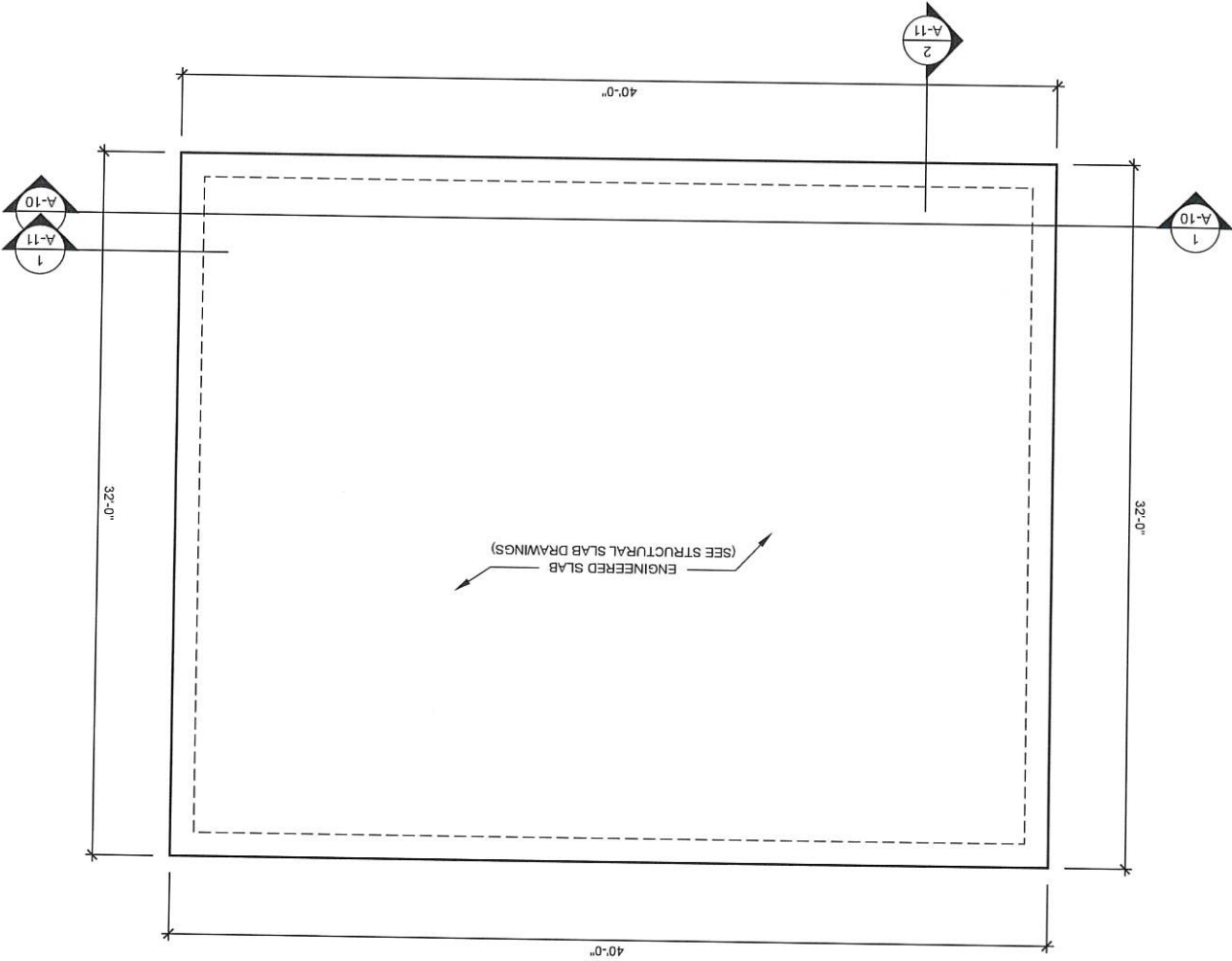
Sunset Lodge
4 Sunset Road
Red Lake, Ontario

Issue Date: Apr. 24, 2025

Scale: N/A

TITLE PAGE

Report No: GP-S-25-64056
Drawing No: A-1



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1657-2 Red Lake Home Hardware Building Centre



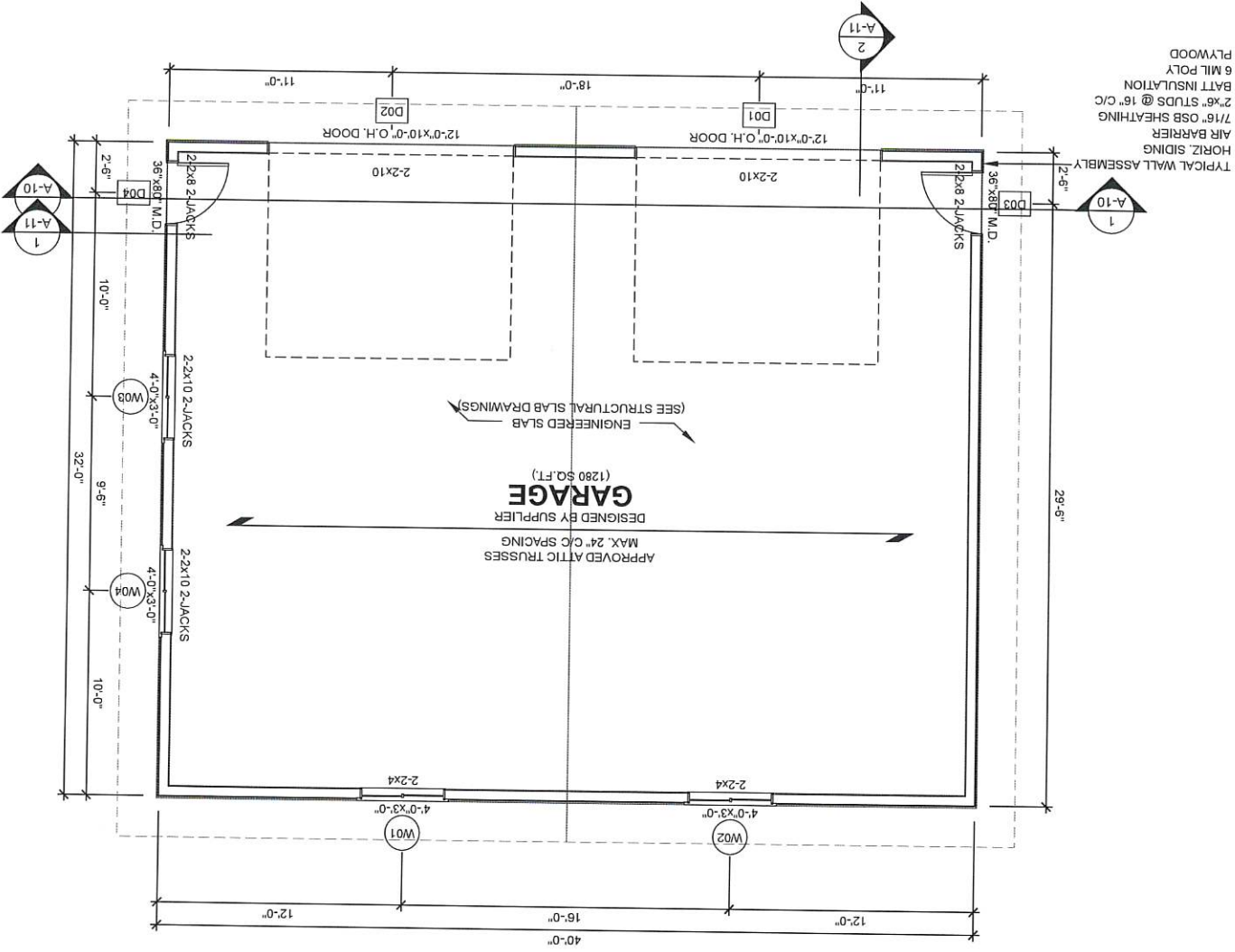
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Sunset Lodge
4 Sunset Road
Red Lake, Ontario

Issue Date: Apr. 24, 2025
Scale: 3/16" = 1'-0"

FOUNDATION PLAN

Report No: GPS-25-64056
Drawing No: A-2



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1557-2 Red Lake Home Hardware Building Centre

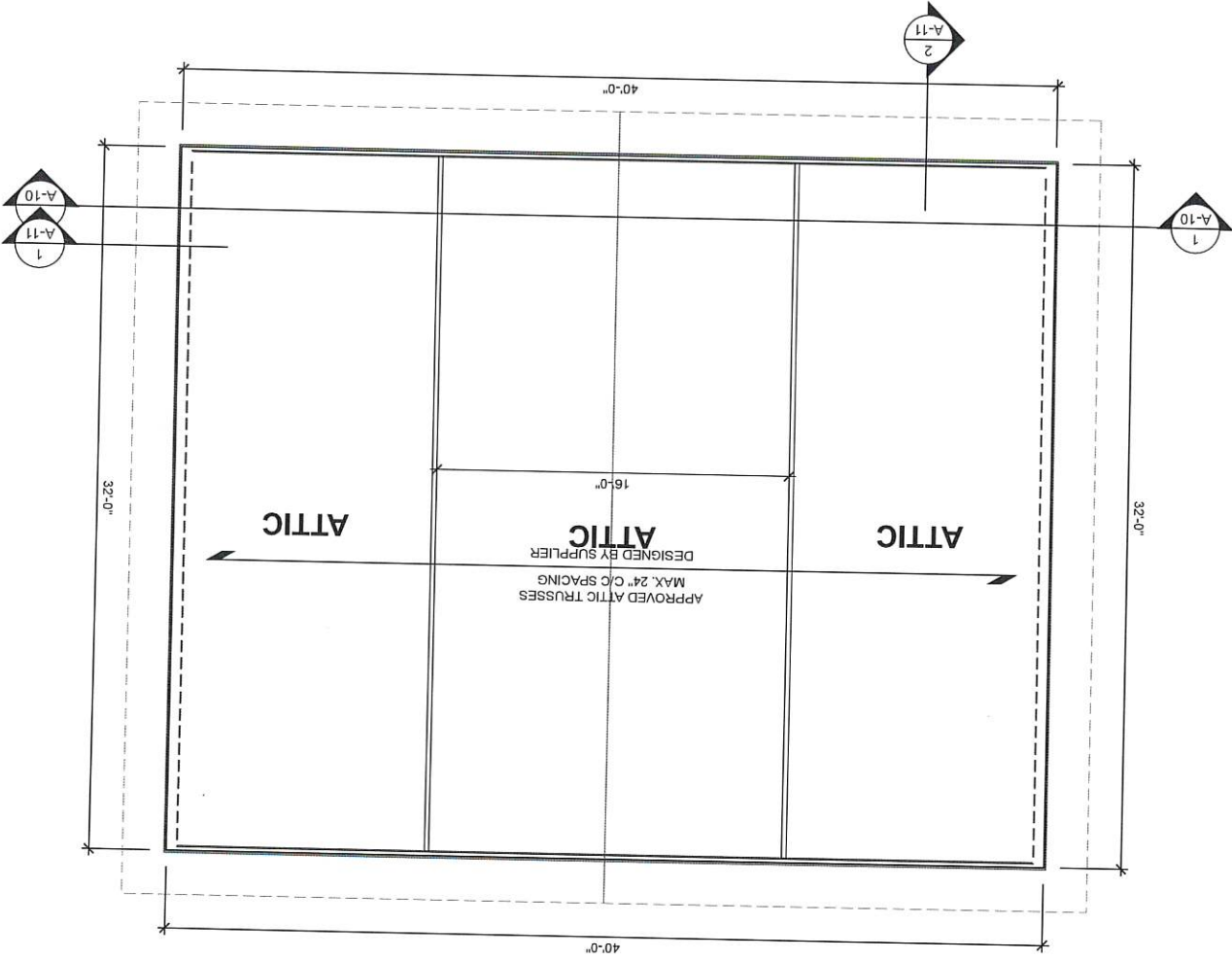
LICENSED PROFESSIONAL ENGINEER
 M. S. REID
 100074193
 Apr. 24, 2025
 PROVINCE OF ONTARIO

CERTIFIED ENGINEERING TECHNOLOGIST
 DOUGLAS MACDONALD
 No. 43768
 ONTARIO

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Sunset Lodge
 4 Sunset Road
 Red Lake, Ontario

Issue Date: Apr. 24, 2025
Scale: 3/16" = 1'-0"
MAIN FLOOR PLAN
 1280 SQ. FT.
Drawing No: GPS-25-64056
Report No: A-3



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1657-2 Red Lake Home Hardware Building Centre



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Sunset Lodge
4 Sunset Road
Red Lake, Ontario

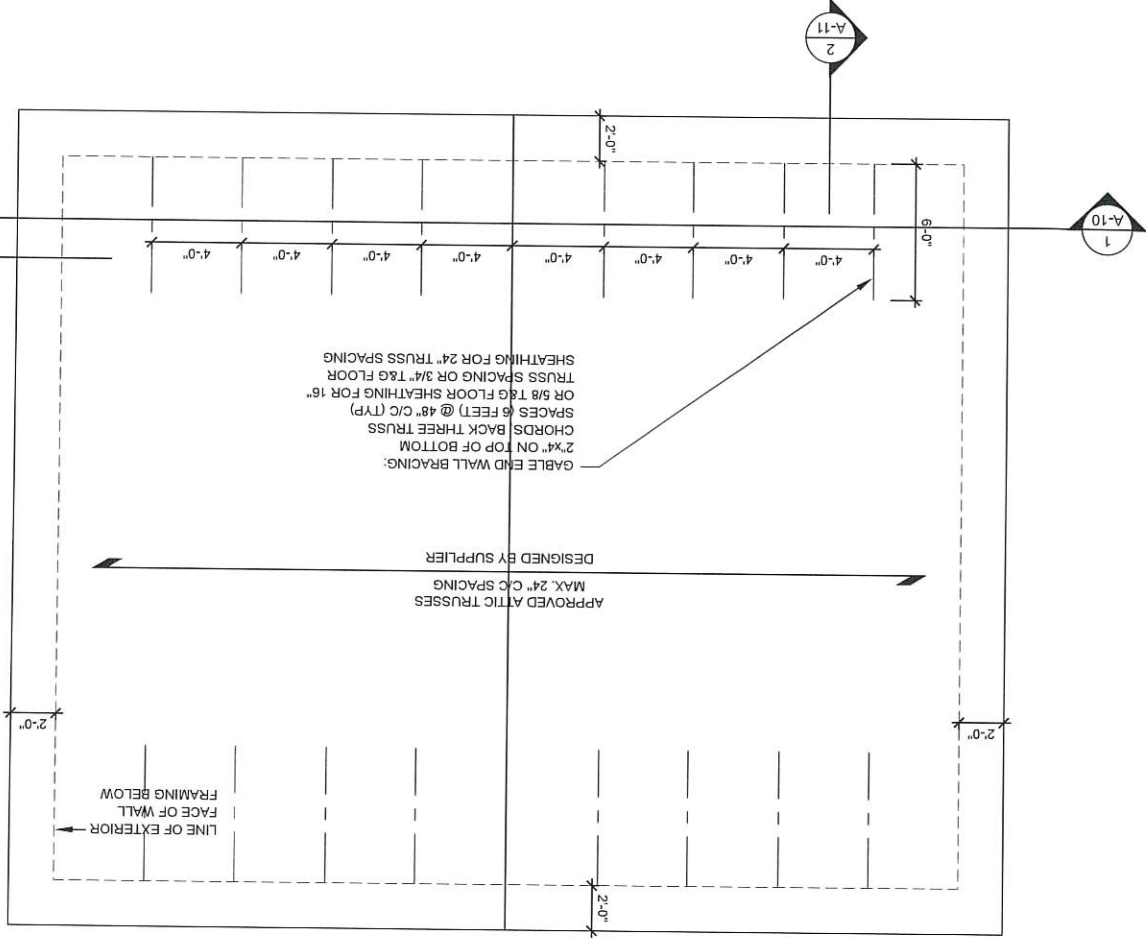
Issue Date: Apr. 24, 2025

Scale: 3/16" = 1'-0"

LOFT FLOOR PLAN

Report No: Drawing No: A-4
GPS-25-64056

INSTALL ROOF VENTS MIN. 1:300
AS PER 9.19.1



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1657-2 Red Lake Home Hardware Building Centre



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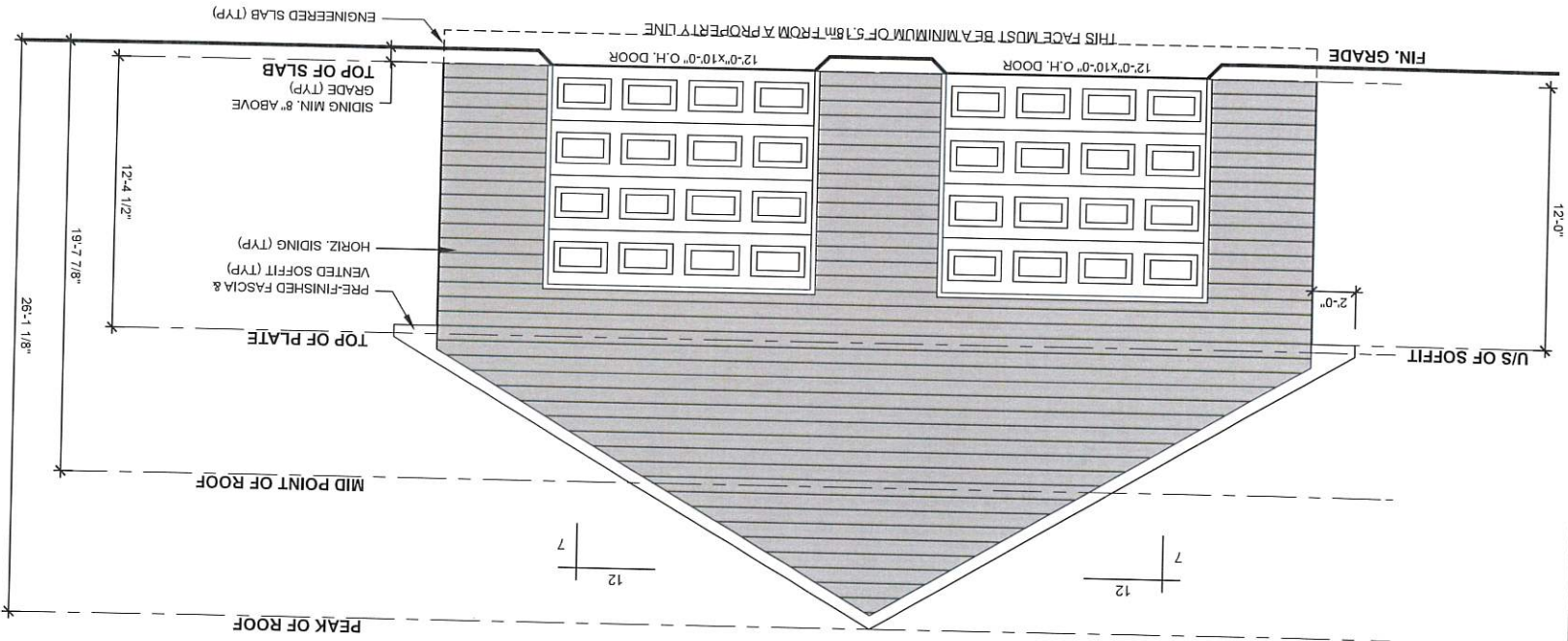
ROOF PLAN

Sunset Lodge
4 Sunset Road
Red Lake, Ontario

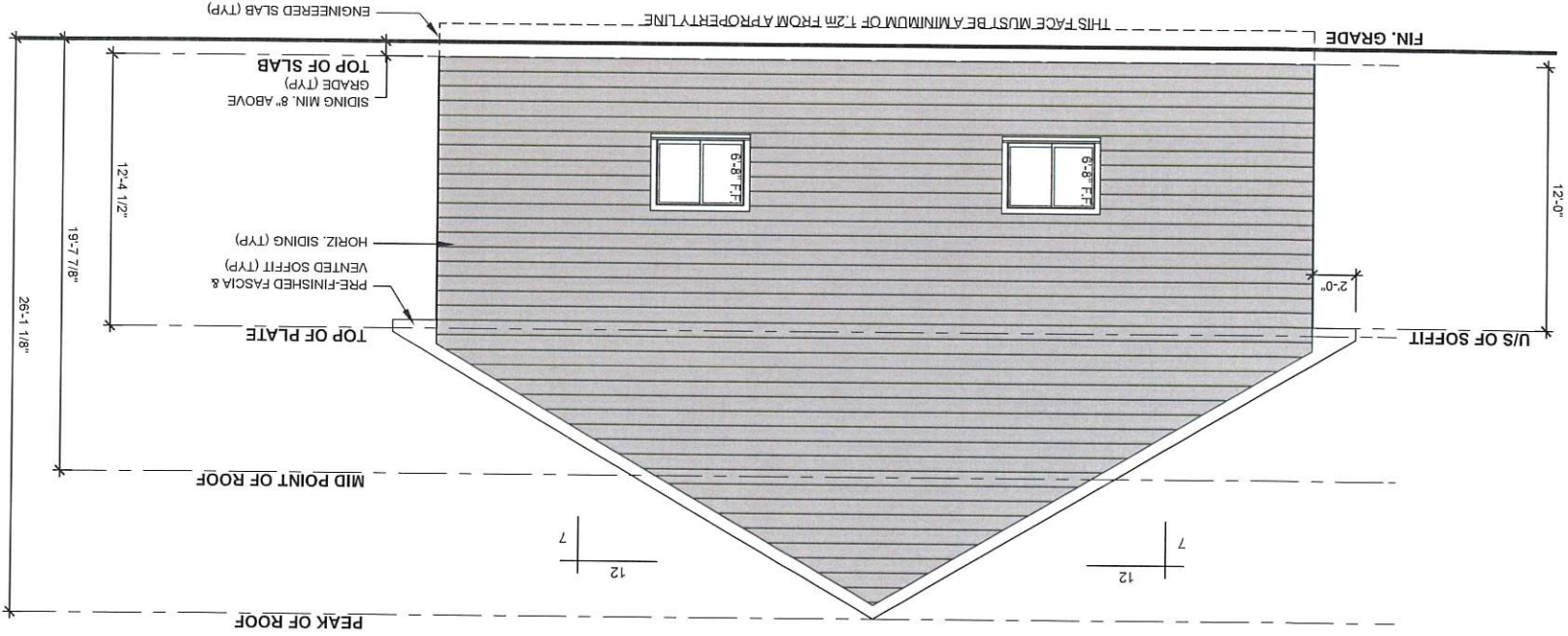
Issue Date: Apr. 24, 2025

Scale: 3/16" = 1'-0"

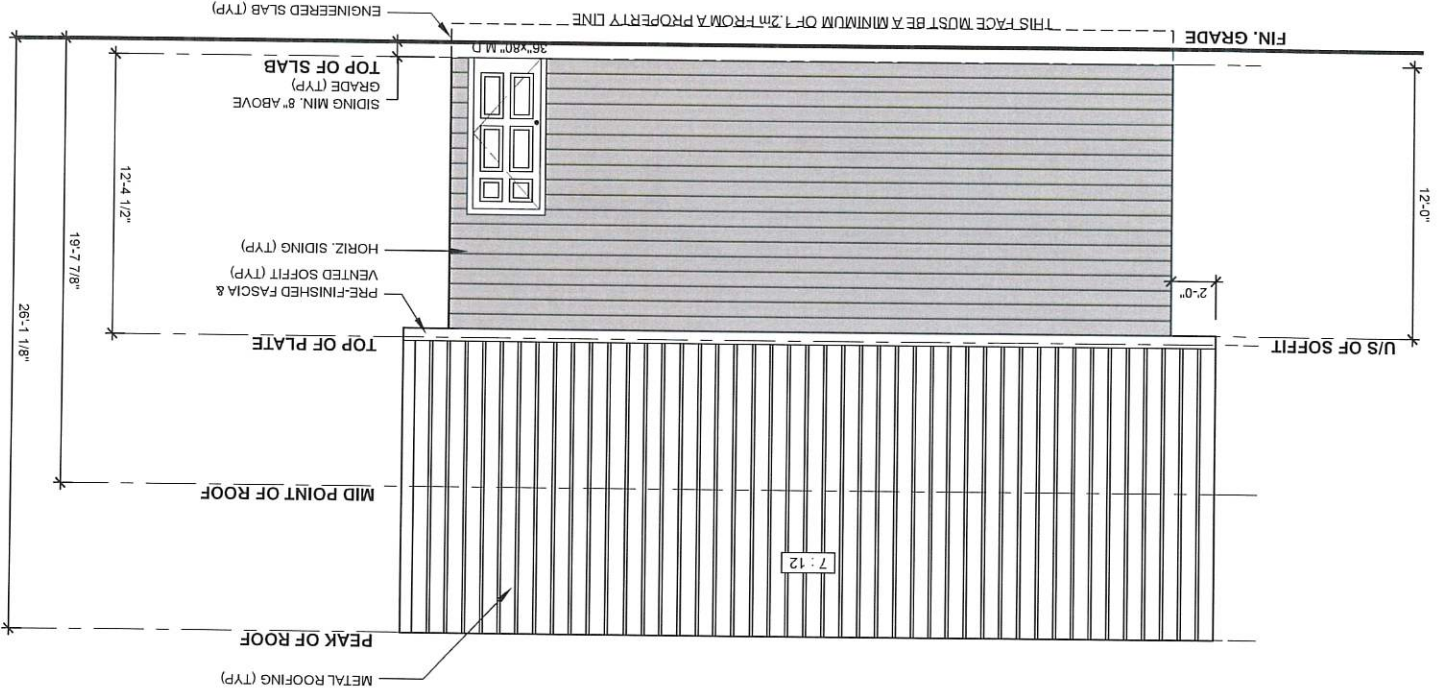
Report No.:
Drawing No: A-5
GPS-25-64056



Report No: GPS-25-64056		Drawing No: A-6	
FRONT ELEVATION			
Scale: 3/16" = 1'-0"		Issue Date: Apr. 24, 2025	
Sunset Lodge 4 Sunset Road Red Lake, Ontario			
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1657-2 Red Lake Home Hardware Building Centre			
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Report No: GPS-25-64056		Drawing No: A-7	
REAR ELEVATION			
Scale: 3/16" = 1'-0"			
Issue Date: Apr. 24, 2025			
Sunset Lodge 4 Sunset Road Red Lake, Ontario			
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1657-2 Red Lake Home Hardware Building Centre			
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Report No: GPS-25-64056
Drawing No: A-8

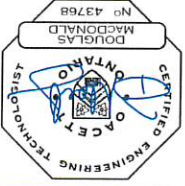
LEFT ELEVATION

Scale: 3/16" = 1'-0"

Issue Date: Apr. 24, 2025

Sunset Lodge
4 Sunset Road
Red Lake, Ontario

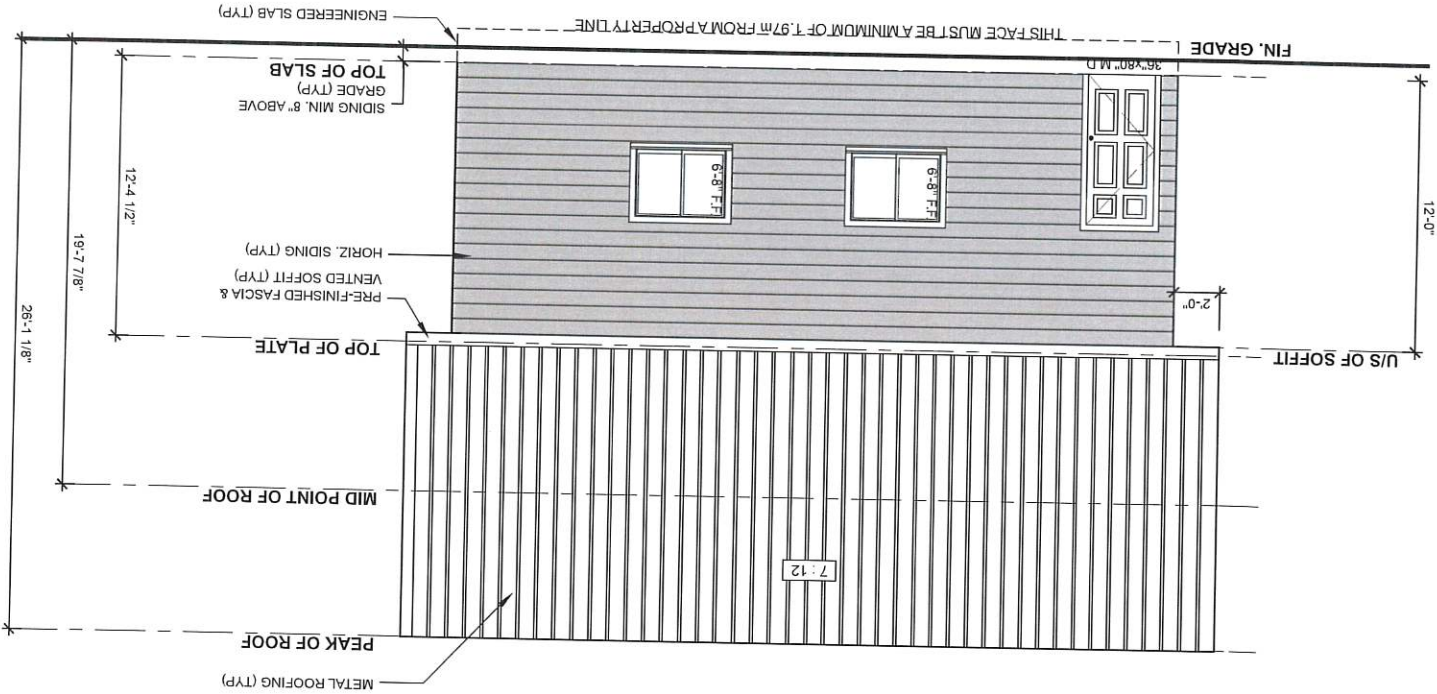
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1657-2 Red Lake Home Hardware Building Centre



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1657-2 Red Lake Home Hardware Building Centre



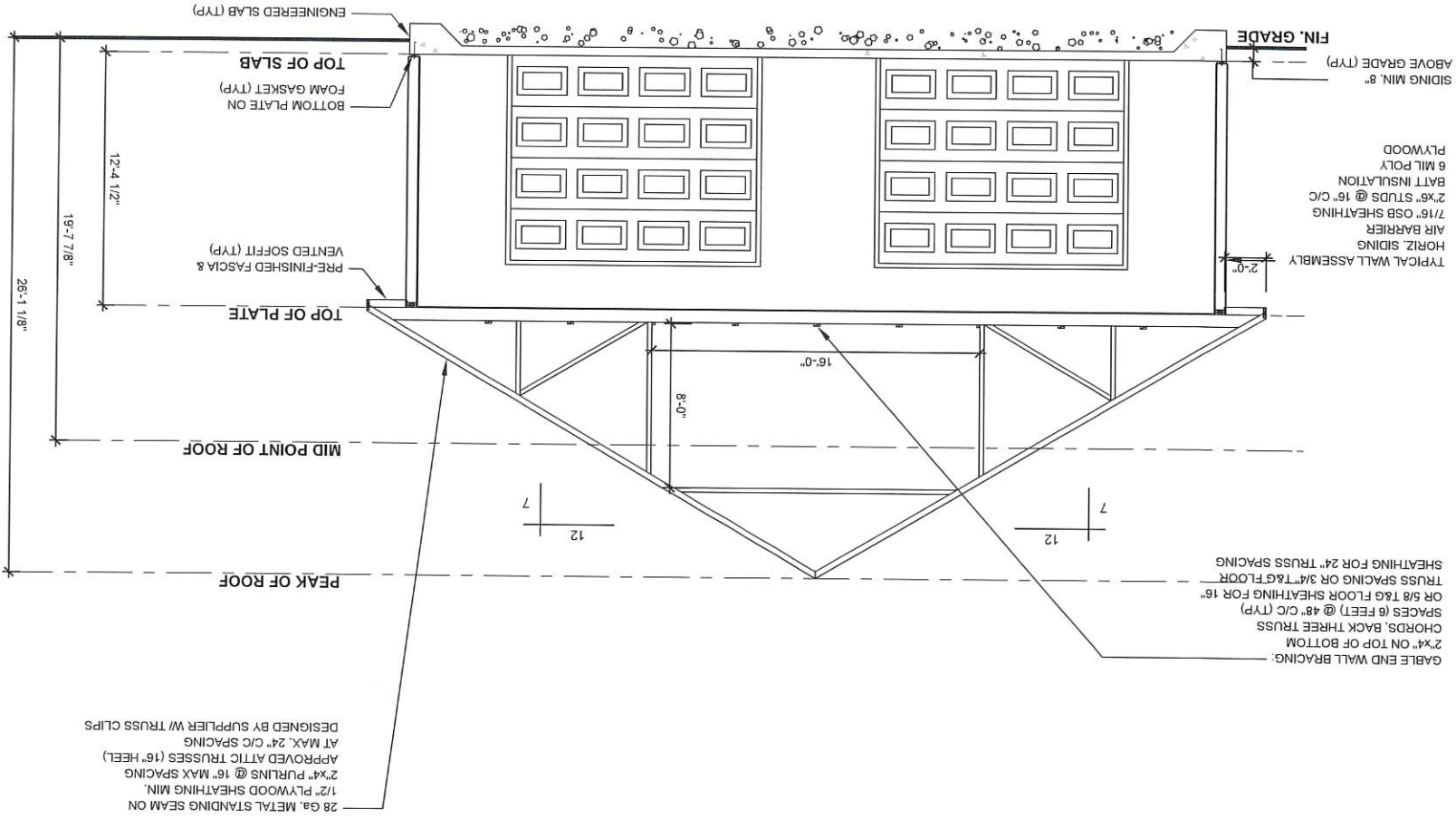
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Sunset Lodge
4 Sunset Road
Red Lake, Ontario

Issue Date: Apr. 24, 2025
Scale: 3/16" = 1'-0"

RIGHT ELEVATION

Report No: GPS-25-64056
Drawing No: A-9



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hh

1657-2 Red Lake Home Hardware Building Centre

PROFESSIONAL ENGINEER
M. S. REID
100024192
APR. 24, 2025
PROVINCE OF ONTARIO

CERTIFIED ENGINEERING TECHNOLOGIST
DOUGLAS MACDONALD
No. 43768
ONTARIO

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Sunset Lodge
4 Sunset Road
Red Lake, Ontario

Issue Date: Apr. 24, 2025

Scale: 3/16" = 1'-0"

BUILDING SECTION

Report No: GPS-25-64056
Drawing No: A-10

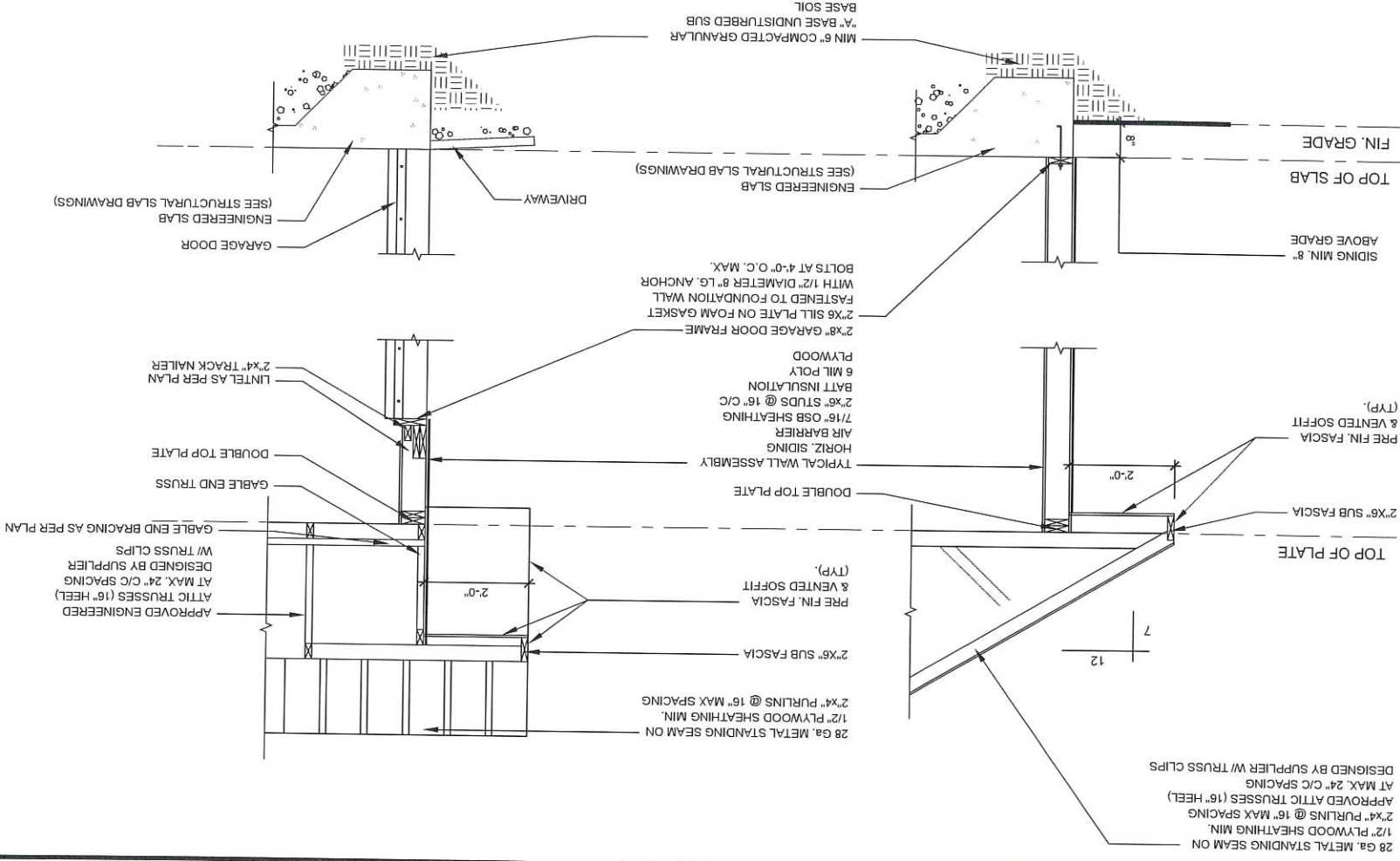
1 TYPICAL WALL SECTION AT EAVE

SCALE 1/2" = 1'-0"

2

2 TYPICAL WALL SECTION AT O/H DOOR & GABLE

SCALE 1/2" = 1'-0"



Report No: GPS-25-64056
Drawing No: A-11

WALL SECTIONS

Scale: AS NOTED

Issue Date: Apr. 24, 2025

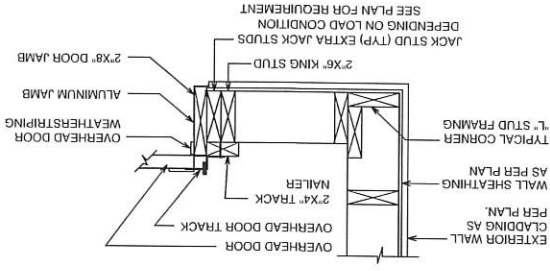
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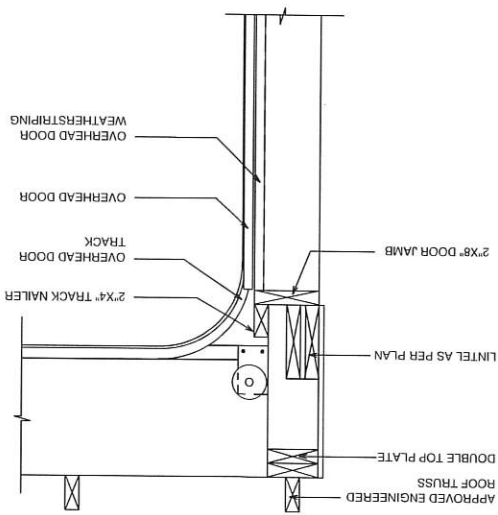


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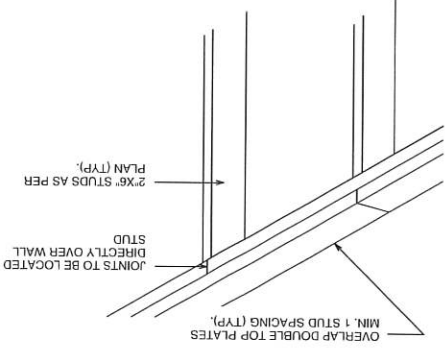
3 GARAGE O.H. DOOR JAMB DETAIL
SCALE: N.T.S.



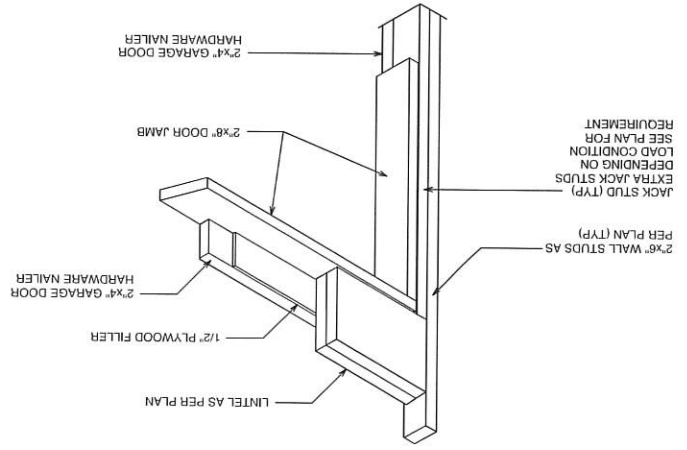
1 GARAGE DOOR JAMB DETAIL
SCALE: N.T.S.



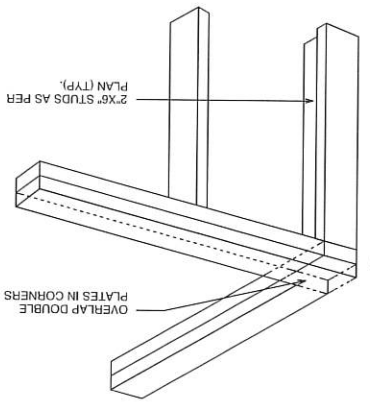
4 TOP PLATE LAP DETAIL
SCALE: N.T.S.



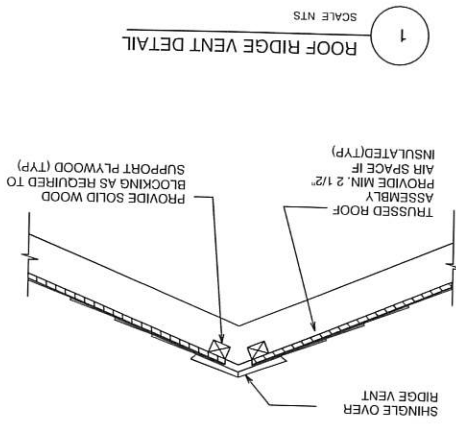
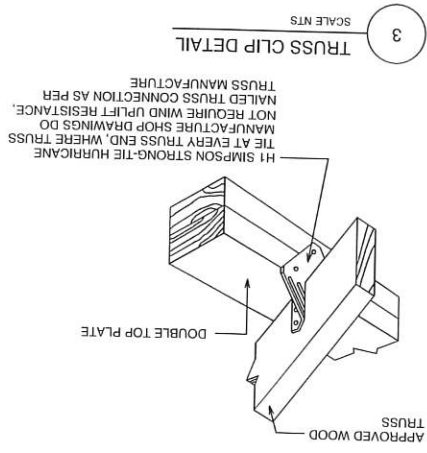
2 LINTEL DETAIL
SCALE: N.T.S.



5 DOUBLE TOP PLATE CORNER LAP
SCALE: N.T.S.



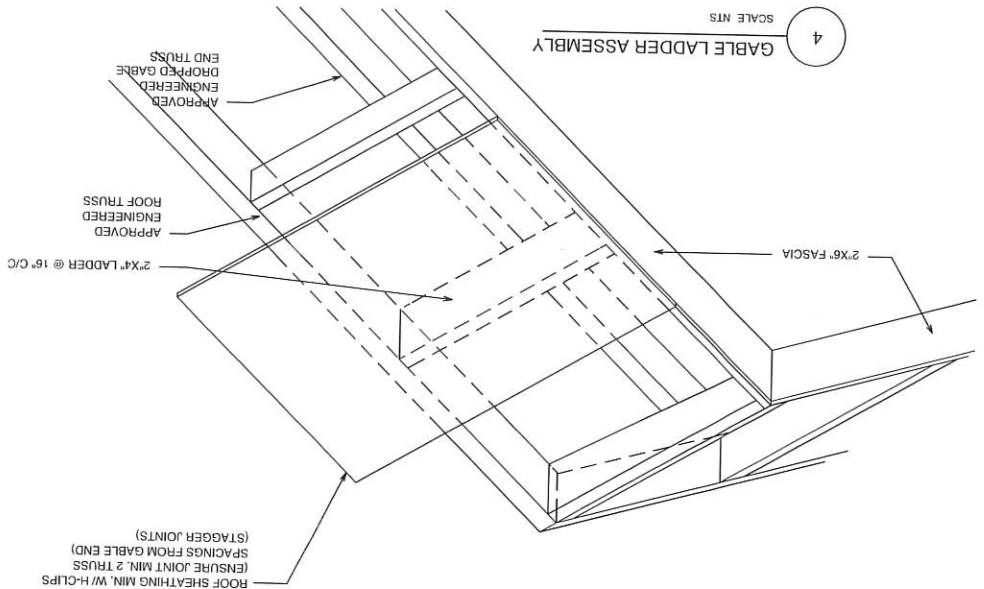
Report No: GPS-25-64056 Drawing No: A-12	
TYPICAL DETAILS	
Scale: AS NOTED	
Issue Date: Apr. 24, 2025	
Sunset Lodge 4 Sunset Road Red Lake, Ontario	
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1657-2 Red Lake Home Hardware Building Centre	
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4

SCALE NTS

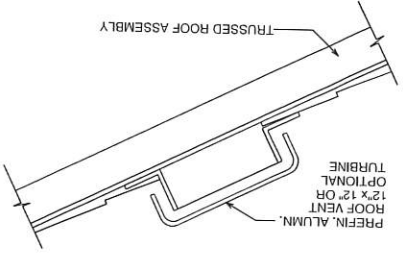
GABLE LADDER ASSEMBLY



2

SCALE NTS

ROOF VENT DETAIL



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1657-2 Red Lake Home Hardware Building Centre

APR 24, 2025
M.S. REID
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PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO

CERTIFIED ENGINEERING TECHNOLOGIST
DOUGLAS MACDONALD
No. 43768

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Sunset Lodge
4 Sunset Road
Red Lake, Ontario

Issue Date: Apr. 24, 2025
Scale: AS NOTED
TYPICAL DETAILS
Report No: GP-S-25-64056
Drawing No: A-13

CONSTRUCTION NOTES

- ALL CONSTRUCTION IS TO CONFORM TO THE LATEST ONTARIO BUILDING CODE (OBO) AND TO ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION (UNLESS OTHERWISE NOTED)
- ALL DIMENSIONS GIVEN FIRST FOLLOWED BY METRIC.
- DO NOT SCALE DRAWINGS.

FOUNDATION SUBGRADE

- FOOTINGS TO BE ON NATIVE NON-ORGANIC UNDISTURBED STABLE SOIL WITH A MINIMUM BEARING CAPACITY OF 75 kPa (SL)
- ASSUMED WITH NO SOIL REPORT
- THE LOCAL BUILDING OFFICIAL MUST COMPLETE AN INSPECTION OF THE FOOTINGS PRIOR TO PLACING OF CONCRETE
- WATER TABLE SHOULD THERE BE ANY ELEVATION TO SUGGEST THE WATER TABLE IS WITHIN 24" OF THE PROPOSED UNDERSIDE OF THE FOOTING A GEOTECHNICAL ENGINEER IS TO BE CONTACTED
- IF A SOIL INVESTIGATION REPORT PROVIDED BY A GEOTECHNICAL ENGINEER CONFIRMS A BEARING CAPACITY GREATER THAN 75 kPa THEN A GREATER BEARING CAPACITY CAN BE USED.

FOOTINGS / SLABS

TYPICAL STRIP FOOTING - 9.15.1

- BASED ON 16'-1" (4.9m) MAX. SUPPORTED JOIST LENGTH.
 - MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS (9.15.2)
 - FOOTINGS SHALL REST ON UNDISTURBED SOIL, ROCK, OR COMPACTED GRANULAR 4'-0" BELOW FINISHED GRADE UNLESS NOTED OTHERWISE ON THE PLANS (9.15.3.2)
 - ENGINEERED FILL IS TO BE INSPECTED BY A CERTIFIED GEO-TECHNICAL SOILS ENGINEER
 - REVIEW BY A CERTIFIED GEOTECHNICAL ENGINEER PRIOR TO POURING FOOTINGS
- TYPICAL STRIP FOOTING - (INTERIOR BEARING WALLS) 9.15.3.6
- IF OVERALL SLOPE IS GREATER THAN 20%, ENGINEERING IS REQUIRED.
 - FOOTING TO BE PINNED TO ROCK WITH 10M DOWELS AT 24" C/C.
 - ROCK TO BE CLEAN AND FREE OF DEBRIS.
 - FROST PROTECTION IS NOT REQUIRED.
- PINNING FOOTINGS TO BEDROCK
- 1 & 2 STOREY: 19" X 6" (485mm X 155mm)
 - 3 STOREY: 26" X 9" (660mm X 230mm)
- TYPICAL STRIP FOOTING - (EXTERIOR WALLS) 9.15.3.4
- FOOTING TO EXTEND 4'-0" BELOW GRADE BUT NOT LESS THAN THE DEPTH OF FROST PENETRATION UNLESS ADEQUATE INSULATION PROTECTION IS PROVIDED.

DRAINAGE TILE OR PIPE 9.14.3 - SOME ENGINEERED SLAB APPLICATIONS

- SIZES AS PER NOTES 1 AND 2
 - 23.5/8" (600mm) MAX. VERTICAL RISE.
 - 23.5/8" (600mm) MIN. HORIZONTAL RUN.
- DRAINAGE TILE OR PIPE 9.14.3.1
- MATERIALS SHALL CONFORM TO OBC 9.14.3.1.
 - 4" (100mm) MIN. DIA.
 - LVD ON UNDISTURBED OR WELL-COMPACTED SOIL.
 - TOP OF TILE OR PIPE WITH 6" (150mm) OF CRUSHED STONE OR OTHER CLEAN GRANULAR MATERIAL.
 - TILE SHALL DRAIN TO SUMP OR APPROVED FROST-FREE OUTLET.

GARAGE CONCRETE SLAB ON GROUND

- 4" (100mm) CONCRETE SLAB.

OPTIONAL ENGINEERED SLAB

- COVER FOR SAW-CUTTING PURPOSES.
- REINFORCING SHALL BE DETAILLED, BENT, PLACED, AND SUPPORTED TO CONFORM TO ACI STANDARD 315 AND THE MANUAL OF STANDARD PRACTICE PUBLISHED BY THE REINFORCING STEEL INSTITUTE.
- REINFORCING STEEL INSTALLED.

STEEL COLUMNS

- WHERE COLUMNS SITS ON FDN WALL, USE 4" X 8" X 5/8" (100mm X 200mm X 16mm) BASE PLATE SECURED WITH (2)-5/8" DIA. (16 mm) X 8" LG. X 2" HOOK ANCHOR BOLTS.
- EXTERIOR OF STEEL COLUMNS SUSCEPTIBLE TO CORROSION SHALL BE TREATED WITH A RUST-INHIBITIVE PAINT OR GALVANIZED.

WOOD COLUMN

- 5 1/2" X 5 1/2" (140mm X 140mm) SOLID NO. 1 & 2 SPF.
- 7 1/4" DIA (184mm) (UNLESS CALCULATIONS PROVE A LESSER SIZE IS ADEQUATE.
- APPROVED METAL SHOE ANCHORED TO FTG.
- CONCRETE PAD AS PER PLANS.
- WIDTH OF COLUMN SHALL BE NO LESS THAN THE WIDTH OF SUPPORTING MEMBERS OR AS PER ENGINEERED REPORT.

FOUNDATIONS

- THE FOLLOWING INDICATES ONLY THE MINIMUM REQUIREMENTS APPLICABLE TO MASONRY.
- REFER ALSO TO ARCHITECTURAL DRAWINGS &/OR THE SPECIFICATION FOR STRUCTURAL LOAD-BEARING MASONRY, BASED ON EMPIRICAL RULES FOR PLAIN MASONRY.
- REINFORCEMENT OTHER THAN STRUCTURAL, AND FOR NON-LOAD-BEARING WALLS AND PARTITIONS.
- MASONRY CONSTRUCTION TO CONFORM TO CS & CAN3-A371-M STANDARDS CAN3-S304-M.

LOAD BEARING MASONRY NOTES:

- TO CONFORM TO ONE OR MORE OF CSA A166.1M, 2M, 3M, OR 4M.
- BLOCKS TO BE MODULAR UNITS AS SHOWN ON THE ARCHITECTURAL DRAWINGS AND/OR SPECIFICATIONS AND UNLESS OTHERWISE NOTED SHALL BE FOR BELOW-GRADE & EXTERIOR EXPOSED WALLS. USE NORMAL WEIGHT UNITS.
- STANDARD HOLLOW TYPE H1515/M.
- 75% SOLID TYPE S1515/M.
- 100% SOLID TYPE S1515/M.
- CLAY BRICKS TO CONFORM TO ONE OR MORE OF CSA A82.1M, 3M, 4M, 5M, OR 6M. SEE ARCHITECTURAL DRAWINGS &/OR SPECIFICATIONS FOR TYPES & STYLES OF BRICKS REQUIRED, UNLESS OTHERWISE NOTED. THE MINIMUM COMPRESSIVE STRENGTH (BRICK FLATWISE) GROSS AREA SHALL BE 20 MPa.
- MASONRY DESIGN SHALL CONFORM TO S304 LATEST STANDARD.

CONCRETE BLOCKS & BRICKS:

MORTAR AND GROUT:

- MORTAR CONFORM TO CSA A179M FOR LAYING CONCRETE BLOCKS.

MASONRY CONNECTIONS:

- (ANCHORS, FASTENERS, & TIES) SHALL CONFORM TO CSA CAN3-A370-M AND BE INSTALLED TO COMPLY WITH CSA CAN3-A371-M. SPACING, STRENGTH, AND GALVANIZING OF STRIP TIES, DOVETAIL ANCHORS, BAR ANCHORS, ROD ANCHORS, STRAP ANCHORS, WALL, AND PARTITION ANCHORS SHALL COMPLY WITH CSA CAN3-A370-M.

HORIZONTAL JOINT REINFORCEMENT FOR ALL MASONRY WALLS:

THE FOLLOWING MINIMUM REQUIREMENTS:

1. CONFORM TO CSA CAN3-A370-M & CAN3-A371-M.
2. REINFORCEMENT SHALL BE APPROVED AS A CONTINUOUS "LADDER" TYPE (BLOK-LOK) WITH 3/16" (4.76mm) DIAMETER LONGITUDINAL AND CROSS WIRES.
3. SPACING: PROVIDE REINFORCING IN THE TOP COURSE IMMEDIATELY BELOW FLOOR AND ROOF BEARING LEVELS AND THE FIRST TWO COURSES ABOVE AND BELOW EVERY WALL OPENING. THE REINFORCING SHALL EXTEND 600mm (24") BEYOND SUCH OPENINGS, FOR THE REMAINDER OF WALLS, THE VERTICAL SPACING SHALL NOT EXCEED 400mm (16").
4. OVERLAP SPICES: SHALL BE A MINIMUM OF 150mm (6") FOR KNURLED WIRE AND 300mm (12") FOR PLAIN WIRE. LAPS SHALL BE STAGGERED A MINIMUM OF 750mm (30") FROM COURSE TO COURSE. REINFORCING SHALL NOT PASS THROUGH CORROSION RESISTANCE. JOINT REINFORCING FOR ALL WALLS IN CONTACT WITH SOIL, EXTERIOR WALLS, AND WALLS IN A MOIST ENVIRONMENT SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION TO ASTM A153-02, 458 g/m²min(1.5 oz/sq.ft.).
6. PROVIDE ALL PREFABRICATED CORNER AND TEE SECTIONS.

COMPOSITE WALLS:

- SHALL HAVE THE VERTICAL COLLAR JOINTS BETWEEN WYTHES COMPLETELY FILLED WITH MORTAR OR GROUT.
- MADE FROM LINTER BLOCKS OR HALF-WEB BLOCKS WHERE SHOWN ON STRUCTURAL DRAWINGS SHALL CONFORM TO CSA A371-M.
- BY FILLING VOID OF HOLLOW UNIT & REINFORCED HOLLOW UNITS SHALL CONFORM TO CSA 1-371-M (MORTAR IS NOT ACCEPTABLE).
- SHALL BE PROVIDED WHERE THE LENGTH OF MASONRY WALL IS GREATER THAN 80'

EXPANSION & CONTROL JOINTS:

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1657-2 Red Lake Home Hardware Building Centre

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CONSTRUCTION NOTES

Scale: N/A

Issue Date: Apr. 24, 2025

Sunset Lodge
4 Sunset Road
Red Lake, Ontario

Report No: GPS-25-64056
Drawing No: A-14

EXECUTION:

1. MINIMUM BEARING ON MASONRY: UNLESS OTHERWISE NOTED:

- BEAMS (STEEL, CONC., WOOD): 200mm (8") NOMINAL.
- LINTELS (STEEL, CONC., WOOD): 150mm (6") NOMINAL.
- SLABS (CAST-IN-PLACE, PRECAST): 100mm (4") NOMINAL.
- STEEL DECKING (ON WELD PLATE): 100mm (4") NOMINAL.
- 2. MASONRY BEARINGS SHALL BE OF SOLID BLOCKS (OR GROUTED SOLID) OR BRICKS LAID IN MORTAR, ALL JOINTS ARE TO BE FULLY FILLED WITH TYPE 'S' MORTAR.
- 3. MIN. SIZE OF SOLID BEARINGS AT BEAMS AND LINTELS UNLESS NOTED SHALL BE EQUAL TO TWICE THE BEARING/SPACING PLATE (WP) LENGTH AND FOR A DEPTH EQUAL TO THE BEARING/WALL PLATE (WP) LENGTH AND IN NO CASE LESS THAN 400 mm LONG X 200 mm DEEP (16" X 8"). SYMMETRICAL UNDER BEARING POINT.
- 4. PROVIDE A MINIMUM OF ONE CONTINUOUS COURSE 200mm (8") OF SOLID OR GROUTED VOID BLOCKS OR BRICKS LAID IN MORTAR AT THE TOP COURSE IMMEDIATELY BELOW ALL FLOOR AND ROOF BEARING LEVELS.

COLD WEATHER CONSTRUCTION:

- REQUIREMENTS & PROTECTION SHALL CONFORM TO CSA CAN3 A37.1-M AND UNDER NO CIRCUMSTANCES SHALL MASONRY CONSTRUCTION BE PERMITTED WHEN THE AIR TEMPERATURE FALLS BELOW -12°C.

CAST-IN PLACE CONCRETE NOTES:

- CONCRETE FOUNDATION WALLS TO BE MINIMUM 8" (200mm) THICK AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 15 MPA (MIN 20 MPA IS RECOMMENDED).

GENERAL

- PROVIDE ALL LABOUR, MATERIALS, TOOLS, AND EQUIPMENT REQUIRED TO CARRY OUT THE WORK.
- REFER ALSO TO GENERAL NOTES, NOTES UNDER PLANS AND SCHEDULES, TYPICAL DETAILS, AND SPECIFICATION.

PRODUCTS

- PORTLAND CEMENT, WATER, AND AGGREGATES SHALL CONFORM TO CSA CAN3-A23.1M.
- PROVIDE AN APPROVED WATER-REDUCING ADDITIVE IN ALL CONCRETE, BE EXPOSED TO A FREEZE/THAW CYCLE AND/OR THE ACTION OF DE-ICING SALT.
- ADMIXTURES SHALL CONFORM TO CSA CAN3-A266M SERIES.
- FORMWORK SHALL CONFORM TO CSA CAN3-A23.1M AND FALSEWORK SHALL CONFORM TO CSA S269.1.
- REINFORCING STEEL UNLESS SPECIFICALLY NOTED, SHALL BE DEFORMED BARS REINFORCING TO CSA G30.18-M GRADE 400 (58000 PSI).
- WELDED WIRE FABRIC TO CONFORM TO CSA G30.5M.
- REINFORCING SHALL BE DETAIL'D, BENT, PLACED, AND SUPPORTED TO CONFORM TO ACI STANDARD 315 AND THE MANUAL OF STANDARD PRACTICE PUBLISHED BY THE REINFORCING STEEL INSTITUTE.
- CONFORM TO ASTM STANDARD C309.
- GENERALLY, ALL CONCRETE SURFACES ARE TO BE SEALED UNLESS NOTED OTHERWISE. COMPOUNDS ARE TO BE COMPATIBLE WITH APPLIED FINISHES.

EXECUTION

MINIMUM COMPRESSIVE STRENGTH FOR CONCRETE @ 28 DAYS SHALL BE AS

NOTED ON THE DRAWINGS OR GENERAL NOTES.

SUMP AT THE POINT OF DISCHARGE SHALL BE CONSISTENT AT 90mm x 20mm (3 1/2" x 3/4") UNLESS NOTED OTHERWISE. GREATER SUMPS ARE NOT ACCEPTABLE.

CONCRETE MIXING, TRANSPORTATION, HANDLING, AND PLACING SHALL CONFORM TO CSA CAN3-A23.1M.

SHALL BE APPROVED BY THE STRUCTURAL CONSULTANT BEFORE CONSTRUCTION, GENERALLY, JOINTS IN SLABS SHALL BE AT RIGHT ANGLES TO THE SPANS, AT MID-SPAN IF POSSIBLE, AND BE CLEAR OF SUPPORTS AND POINT LOADS.

OPENINGS AND DIVERT FASTENERS REQUIRED IN THE CONCRETE AFTER THE CONCRETE IS PLACED SHALL BE APPROVED BY A STRUCTURAL CONSULTANT BEFORE PROCEEDING.

FINISHING, REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIRED FINISH TO EXPOSED CONCRETE. ALL HOME/COMING SHALL BE CUT OUT AND FILLED. FLOOR FINISHES SHALL BE AS REQUIRED BY THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS AND SHALL CONFORM TO CSA STANDARD CAN3-A23.1M (CLASS A FINISH UNLESS NOTED).

TOLERANCES FOR PLACING STRUCTURAL CONCRETE, REINFORCING STEEL, CAST-IN HARDWARE, AND FOR FLOOR AND ROOF FINISHES SHALL BE AS SPECIFIED IN CSA STANDARD CAN3-A23.1M.

QUALITY CONTROL

FOR INSPECTION AND TESTING, SEE GENERAL NOTES.

ICF FOUNDATION WALL NOTES:

- ICF FOUNDATION WALL.
- DAMPROOF EXTERIOR SURFACE
- INSULATED EXTERIOR FORM FOUNDATIONS MUST BE INSTALLED IN ACCORDANCE WITH THE APPROVED MANUFACTURER'S SPECIFICATIONS.
- ROOF FRAMING FIXED TO TOP PLATES.

PRESCRIPTIVE)

ICF FOUNDATION MINIMUM WALL REINFORCEMENT (PART 9

- 10M BARS SPACED NOT MORE THAN 23 5/8" (600mm) O.C. ON THE INSIDE HALF OF THE WALL SECTION WITH A MINIMUM COVER OF 1 1/4" (30mm) FROM THE INSIDE FACE OF THE CONCRETE.
- ONE 10M BAR PLACED NOT MORE THAN 11 3/4" (300mm) FROM THE TOP OF THE WALL.

VERTICAL REINFORCEMENT:

- 10M BARS SPACED AT 10" (250mm) O.C. ON THE INSIDE HALF OF THE WALL.
- WHERE INTERMEDIATE WALL OPENINGS, BARS SHALL BE PLACED NOT MORE THAN 23 5/8" (600mm) FROM EACH SIDE OF THE OPENING.

MAIN FLOOR LEVEL ICF WALLS:

- COVER INSIDE FOAM WITH GYPSUM OR APPROVED WOOD SHEATHING, INSTALL IN ACCORDANCE WITH 9.29 OF THE ONTARIO BUILDING CODE.

ENGINEERED WOOD ACCEPTABLE TYPES:

- LP SUDOSTART BY LOUISIANA PACIFIC.
- GARGOLM BY GARGOLM CANADA LTD.
- MICROLAM BY TRUS JOIST CORPORATION.
- PARALAM BY MACMILLAN BLOEDEL LTD.
- LAMINATED VENEER LUMBER (LVL): WOOD VENEERS AND ADHESIVES SHALL BE IN ACCORDANCE WITH APPROVED MANUFACTURER'S STANDARDS AND APPLICABLE CSA STANDARDS.
- ALL MEMBERS SHALL BEAR IDENTIFICATION MARKS OF THE MANUFACTURER, NAILING AND/OR BOLTING OF MULTIPLEYS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND IN NO CASE LESS THAN 2 ROWS OF 16d (3 1/2") NAILS AT 300mm (12") CENTRES, EACH ROW.
- NAILS INTO EDGES OF LVL SHALL BE SPACED AT A MINIMUM OF 75mm (3") FOR 8d (2 1/2") NAILS AND 100mm (4") FOR 10d (3") NAILS.
- LVL MIN. END BEARING TO BE AS PER BEAM REPORT.

FRAME WALL CONSTRUCTION

LUMBER:

UNLESS OTHERWISE NOTED, TO BE SPRUCE-PINE-FIR (SPF), GRADE NO. 2.

CONFORMING TO CSA STANDARD WITH 0.141 WITH A MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF INSTALLATION. LUMBER SHALL BEAR THE

STAMP OF AN AGENCY APPROVED BY THE CANADIAN LUMBER STANDARDS ADMINISTRATION BOARD.

NAILS, SPIKES AND STAPLES: TO CSA STANDARD 8111; GALVANIZED FOR EXTERIOR WORK, OR HIGHLY NUNED AREAS AND FOR TREATED LUMBER, PLAIN

CONFORM TO TABLES 9.23 A, B, AND 9.23.13 A IN THE ONTARIO BUILDING CODE.

ROUGH HARDWARE: BOLTS, NUTS, WASHERS, LAGS, PINS, SCREWS, ALL TO BE

WOOD PRESERVATIVES (PRESSURE TREATED) WHERE REQUIRED, TO CONFORM TO CAN STANDARD 080-M.

FRAMING ANCHORS, FRAMING ANCHORS, JOIST HANGERS, BEAM HANGERS, POST SHOWN ON THE STRUCTURAL DRAWINGS, ARE ALL TO BE AS MANUFACTURED BY

STANDARD ENGINEERING COMPANY (TECO) OR AN APPROVED EQUAL, SIZED TO THE

JOB AT HAND, ALL ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE

MANUFACTURER'S INSTRUCTIONS UTILIZING "SPECIAL" NAILS WHERE REQUIRED.

STUD WALLS:

PROVIDE FULL-WIDTH SILL PLATES, MIN. 38mmx89mm (2"x4"), ANCHORED TO

FOUNDATION WITH 12mm (1/2") DIAMETER BOLTS X 250mm (10") LONG AT 1200mm

(4'-0") CENTRES, BOLTS TO BE GROUTED OR CONCRETED IN SOLID.

PROVIDE MINIMUM TWO (2) TOP PLATES FOR LOAD-BEARING WALLS, PLATES TO

BE LAPPED OR TIED AT CORNERS AND INTERSECTIONS.

2"x4" (38mmx89mm) WOOD STUDS @16" (400mm) O.C. @ 9.23.10.1.

EXTERIOR SIDING TO COMPLY WITH LIMITING DISTANCE REQUIREMENTS AS

LISTED IN THE OBC 9.10.14, WHERE THE WALL IS CLOSER THAN 2'-0" TO THE

PROPERTY LINE.

SIDING OR STUCCO AS PER ELEVATIONS, MIN. 8" (200mm) FROM FINISHED GRADE.

WALL SHEATHING MEMBRANE TO BE MIN. 7/16" OSB SHEATHING OR EQUIVALENT

AS PER CODE 9.23.16.

WALL SHEATHING SHALL BE INSTALLED SO THAT ALL ENDS ARE SUPPORTED WITH

END JOINTS STAGGERED, A GAP OF NOT LESS THAN 2mm (1/16") SHALL BE LEFT

BETWEEN SHEETS OF PLYWOOD, WAFER BOARD, OR FIBRE BOARD, MAKE BUTT

JOINTS ON SOLID MATERIAL.

SECURE WALL SHEATHING TO FRAMING MEMBERS WITH 2 1/2" COMMON SPIRAL

NAILS SPACED NOT GREATER THAN 6" ON THE EDGES & 12" IN THE FIELD OF THE

BOARD.

NOTHING & DRILLING: ONLY ALLOWED WITHIN THE LIMITATIONS SET OUT IN THE

ONTARIO BUILDING CODE.

BEAMS, LINTELS, AND JOISTS SHALL BE GRADED BY AN APPROVED LUMBER

GRADING AGENCY & SUPPLIED BY AN APPROVED MANUFACTURER.

GABLE WALL WITH LARGE OPENINGS:

ANALYSIS OF THE GARAGE FRONT WALL SHEAR RESISTANCE HAS NOT BEEN

CONDUCTED DUE TO THE APPARENT PAST INSIGNIFICANCE OF SMALL ONE-STORY

WOOD FRAME UNINHABITED STRUCTURES, PAST PERFORMANCE OF SIMILAR BUILDINGS

HAS PRESENTED LITTLE OR NO DATA THAT HAS PROVEN THIS ASPECT OF A GARAGE

BUILDING CODE IS SILENT ON THE ISSUE OF LATERAL STABILITY IN EXTERIOR SHEAR

WALLS, IBD THEREFORE THROUGH ITS DESIGN EXPERIENCE DEEMS THE FRONT WALL AT

THIS TIME UNWARRANTED FOR DETAILED SHEAR WALL ANALYSIS.

WINDOW AND MAIN DOOR:

THE WINDOW AND MAIN DOOR ON THE SIDE CAN BE MOVED WITHIN THE WALL AS

LONG AS A MINIMUM OF 16" IS MAINTAINED BETWEEN THE WINDOW AND THE

DOOR, AS WELL AS BE A MINIMUM OF 16" FROM THE CORNERS.

IF THE SIDE WINDOW OR MAIN DOOR IS MOVED WITHIN THE WALL, THE OPENING

MUST BE CLEAR OF ANY GIRDER TRUSS BEARING.

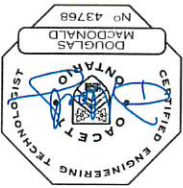
CONSTRUCTION NOTES

Scale: N/A

Issue Date: Apr. 24, 2025

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- HIGH WALL CONSTRUCTION:**
- DOUBLE TOP PLATES ARE TO BE FASTENED TOGETHER WITH MIN. 3" NAILS @ 8"
 - NO. 210 (30.5K5mm2) ASPHALT SHINGLES.
 - EXCEPT FOR THE FIRST 2 COURSES, COVERAGE SHALL NOT BE LESS THAN 3 THICKNESSES OF SHINGLES OVER THE ENTIRE ROOF SURFACE.
 - ICE AND WATER SHIELD OVER ENTIRE ROOF SURFACE.
 - STARTER STRIP TO BE Laid IN CONTINUOUS BAND OF CEMENT NOT LESS THAN 7/8" WIDE.
 - SECURE TABS WITH COLD APPLICATION CEMENT APPLIED AT A RATE OF NOT LESS THAN 1 gmt/100 ft² OF CEMENTED AREA OR HOT APPLICATION ASPHALT AT A RATE OF 2 LB/ft² OF CEMENTED AREA.
 - SHINGLES ON HIPS AND RIDGES SHALL NOT BE LESS THAN 11 3/4" WIDE.
 - ALL FLASHING TO WINDOWS, DOORS, AND CLADDING TO BE INSTALLED AS PER OBC 9.27.3.8.
- SPATIAL SEPARATION:**
- IF ELEVATION FACES DWELLING ON SAME PROPERTY, THEN PROPOSED UNPROTECTED OPENING AREA CAN BE 100%.
 - IF ELEVATION FACES DWELLING ON SAME PROPERTY, THEN PROPOSED UNPROTECTED OPENING AREA CAN BE 100%.
 - WHERE BUILDING REQUIRES PERIMETER INSULATION BUILDING CANNOT BE LESS THAN 4'-0" TO THE PROPERTY LINE.
- TYPICAL ROOF CONSTRUCTION:**
- NO. 210 (30.5K5mm2) ASPHALT SHINGLES.
 - FOR ROOF BETWEEN 4:12 AND 8:12 PITCH PROVIDE ICE AND WATER SHIELD INSTALLED ON PERIMETER OF ROOF, INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.
 - ICE AND WATER SHIELD TO BE Laid BENEATH STARTER STRIP.
 - STARTER STRIP AS PER OBC 9.26.7.2.
 - STARTER STRIP NOT REQUIRED IF TYPE M ROLL ROOFING IS USED FOR EAVES PROTECTION.
 - 3/8" SHEATHING REQUIRES (0-1 GRADE) WITH METAL 7/8" CLIPS OR NOT LESS THAN 2"x2" BLOCKING SECURELY NAILLED BETWEEN FRAMING MEMBERS MAX. FRAMING MEMBER SPACING MAX. 24" O.C.
 - ROOF SHEATHING PROVIDE AT LEAST A 2mm (1/16") GAP BETWEEN SHEETS.
 - EXTERIOR TYPE PLYWOOD USED AS ROOF AND/OR WALL SHEATHING SHALL BE LEGITIMATELY IDENTIFIED AS MATERIAL OF EXTERIOR TYPE.
 - FOR WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
 - FIN. RAILING ON WOOD PICKETS MAX. 4" CENTERLINE BETWEEN PICKETS IN A FLIGHT.
 - HANDRAIL TO BE CONTINUOUS THROUGH FLIGHT OF STAIRS EXCEPT AT LANDING.
 - SLOPE OF LANDING SHALL NOT EXCEED 1 IN 50
 - HANDRAIL TO BE CONTINUOUS THROUGH FLIGHT OF STAIRS EXCEPT AT LANDING.
 - EXTENSION OF CONCRETE STEPS = MAX. RISER 7-7/8" (200mm)
 - LOFT SPACE HAS NOT BEEN DESIGNED AS A DWELLING UNIT, WHERE LOFT DEEMED TO BE A DWELLING UNIT, WINDOWS SHALL BE A MINIMUM OF 19" (480mm) ABOVE FINISHED FLOOR
 - ANY OPENING BETWEEN STRINGER AND STAIR GUARD SHALL BE OF A SIZE THAT PREVENTS THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 6" (150mm).
 - 5/8" T&G PLYWOOD ON 2"x6" @ 16" O.C. SECURE LANDING TO EACH STUD W/ 2-3 1/4" COMMON SPIRAL NAILS, SUPPORT OUTSIDE CORNER W/ 4"x4" WOOD POST TO SLAB BELOW, SECURE
- GUARDS: 9.8.8. GUARDS REQUIRED IF:**
- THERE IS A DIFFERENCE IN ELEVATION OF MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE, OR
 - HAS A SLOPE OF MORE THAN 1 IN 2
 - THE HEIGHT OF GUARDS FOR EXTERIOR STAIRS AND LANDINGS IS MORE THAN 1' 10" ABOVE ADJACENT GROUND LEVEL SHALL BE NOT LESS THAN 4'-11 1/16" (1500mm).
 - GUARDS SHALL BE DESIGNED TO RESIST LOADS AS SPECIFIED IN TABLE 9.8.8.2 OF THE OBC
- TRUSSES:**
- IF ANOTHER TRUSS MANUFACTURER IS DESIRED, THEN ANY APPROVED ENGINEERED TRUSS DETAILS AND LAYOUT MUST BE REPLACED WITH THE CHOSEN MANUFACTURER'S APPROVED ENGINEERED DETAILS AND LAYOUT.
 - THE FINAL TRUSS DETAILS AND LAYOUT MUST BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION AND MUST BE KEPT ON SITE FOR CONSTRUCTION AND INSPECTION PURPOSES.
- GIRDER TRUSSES:**
- ROOF TRUSS GIRDER LOADS HAVE BEEN CALCULATED FROM TRIBUTARY AREA.

LOW SLOPE ROOF APPLICATION (SLOPES LESS THAN 4:12) (AS PER 9.26.9):

STAIRS: 9.8 - RESIDENTIAL

STAIRS & GUARDS 9.8

STAIRS CONSTRUCTION

- EXCEPT AS PERMITTED IN SENTENCES (2) AND (3), OPENINGS THROUGH GUARDS SHALL BE OF A SIZE THAT PREVENTS THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 100mm (4").
 - EXCEPT WHERE THEY SERVE STORAGE GARAGES, GUARDS IN INDUSTRIAL OCCUPANCIES ARE PERMITTED TO CONSIST OF: (A) A TOP RAILING, AND (B) ONE OR MORE HORIZONTAL INTERMEDIATE RAILS SPACED SUCH THAT THE SIZE OF THE OPENINGS THROUGH THE GUARD PREVENTS THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 55mm (2 1/4").
 - OPENINGS THROUGH ANY GUARD THAT IS NOT REQUIRED BY ARTICLE 9.8.8.1, ONTARIO BUILDING CODE AND THAT SERVES AN OCCUPANCY OTHER THAN AN INDUSTRIAL OCCUPANCY, SHALL BE OF A SIZE THAT:
 - PREVENTS THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 100mm, OR
 - PERMITS THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 200mm.
- HANDRAILS: 9.8.7.**
- WHERE A STAIR OR RAMP IS REQUIRED TO BE AT LEAST 2200mm WIDE (66.6"), A HANDRAIL SHALL BE INSTALLED SUCH THAT NO POSITION ON THE STAIR OR RAMP IS MORE THAN 625mm (20.5") FROM A HANDRAIL.
 - THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL NOT BE LESS THAN (a) 50mm IF THE SURFACE BEHIND THE HANDRAIL IS ROUGH OR AGGRESSIVE OR (b) 50mm (IN ALL OTHER CASES
 - ALL HANDRAILS SHALL BE CONSTRUCTED SO AS TO BE CONTINUALLY GRASPABLE ALONG THEIR ENTIRE LENGTH WITH NO OBSTRUCTION ON OR ABOVE THEM TO BREAK A HANDHOLD. 9.8.7.5 ERGONOMIC DESIGN
 - A HANDRAIL IS NOT REQUIRED FOR STAIRS AND RAMP SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT, WHERE:
 - INTERIOR STAIRS HAVE NOT MORE THAN TWO RISERS.
 - EXTERIOR STAIRS HAVE NOT MORE THAN THREE RISERS, OR
 - RAMP RISE NOT MORE THAN 400mm (16").
 - ONLY ONE HANDRAIL IS REQUIRED ON EXTERIOR STAIRS HAVING MORE THAN THREE RISERS. PROVIDED SUCH STAIRS SERVE A HOUSE OR AN INDIVIDUAL DWELLING UNIT.
 - EXCEPT FOR STAIRS SERVING A HOUSE OR INDIVIDUAL DWELLING UNIT, AT LEAST ONE HANDRAIL AT THE SIDES OF A STAIR OR RAMP SHALL EXTEND HORIZONTALLY NOT LESS THAN 12" (300mm) BEYOND THE TOP AND BOTTOM OF EACH FLIGHT OR RAMP
 - THE HEIGHT OF HANDRAILS ON STAIRS AND RAMP SHALL BE MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO:
 - A STRAIGHT LINE DRAWN TANGENT TO THE TREAD NOSINGS OF THE STAIR SERVED BY THE HANDRAIL, OR
 - THE SURFACE OF THE RAMP, FLOOR, OR LANDING SERVED BY THE HANDRAIL.
 - HANDRAILS SHALL BE 85mm (3 1/4") TO 107mm (4 1/4") HIGH.
 - HANDRAILS AND PROJECTIONS BELOW HANDRAILS, INCLUDING HANDRAIL SUPPORTS AND STAIR STRINGERS, SHALL NOT PROJECT MORE THAN 4" (100mm) INTO THE REQUIRED WIDTH OF A STAIR OR RAMP
 - HANDRAILS AND THEIR SUPPORTS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND THE FOLLOWING LOADS, WHICH NEED NOT BE CONSIDERED TO ACT SIMULTANEOUSLY:
 - A CONCENTRATED LOAD OF NOT LESS THAN 0.9 MN APPLIED AT ANY POINT AND IN ANY DIRECTION FOR ALL HANDRAILS, AND
 - FOR HANDRAILS OTHER THAN THOSE SERVING A HOUSE OR INDIVIDUAL DWELLING UNIT, A UNIFORM LOAD OF NOT LESS THAN 0.7 kNm.

OPENINGS IN GUARDS:

CONSTRUCTION NOTES

Report No: GPS-25-64056
Drawing No: A-16

Scale: N/A

Issue Date: Apr. 24, 2025

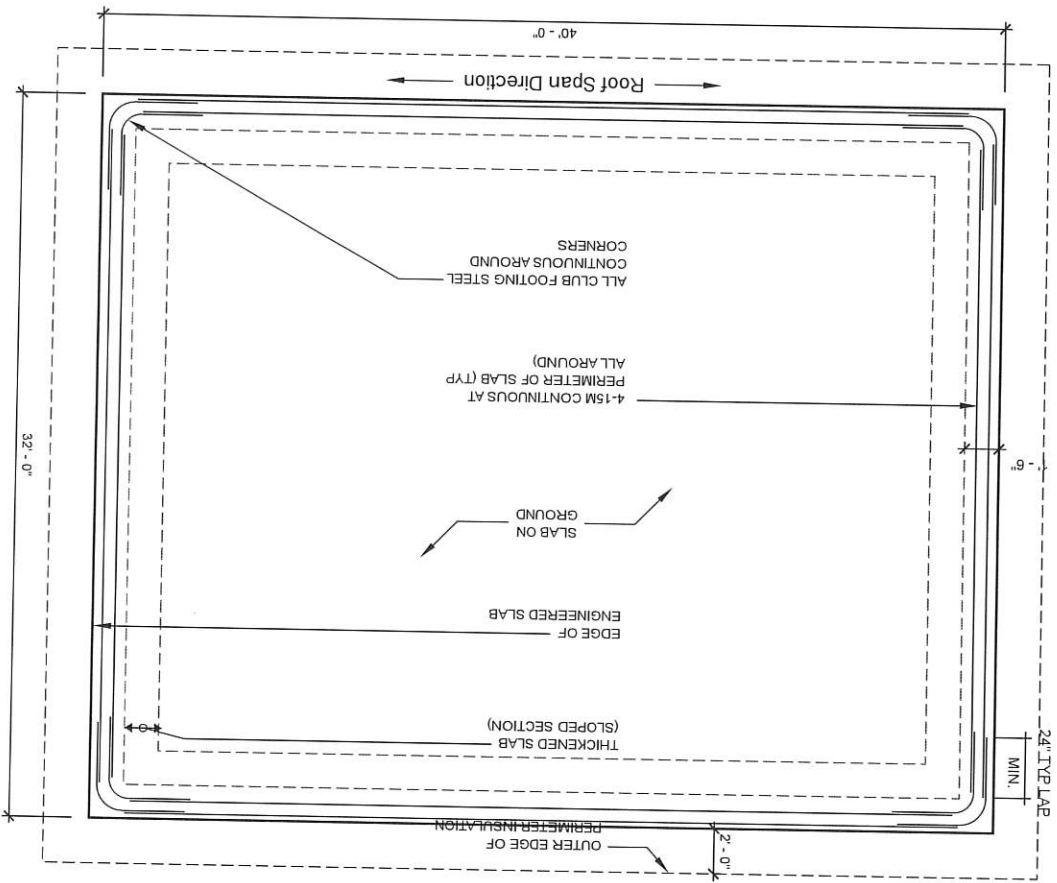
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THE DESIGN FOR THE CONSTRUCTION OF THIS ENGINEERED SLAB HAS BEEN COMPLETED UNDER THE ASSUMPTION THAT BOTH A BUILDING PERMIT WILL BE OBTAINED AND THE MUNICIPAL BUILDING OFFICIAL HAS PERFORMED THE MANDATORY INSPECTIONS PRIOR TO POURING CONCRETE. SEE SLAB FOUNDATION GENERAL NOTE #1 ON DRAWING S-3.



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1557-2 Red Lake Home Hardware Building Centre

PROFESSIONAL ENGINEER
M. S. REID
100074192
APR. 24, 2025
PROVINCE OF ONTARIO

CERTIFIED ENGINEERING TECHNOLOGIST
DOUGLAS MACDONALD
No. 43768
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IBD and the engineer assume no liability for the design of the engineered slab where a building permit has not been obtained and subsequent inspections have not been completed prior to pouring concrete.

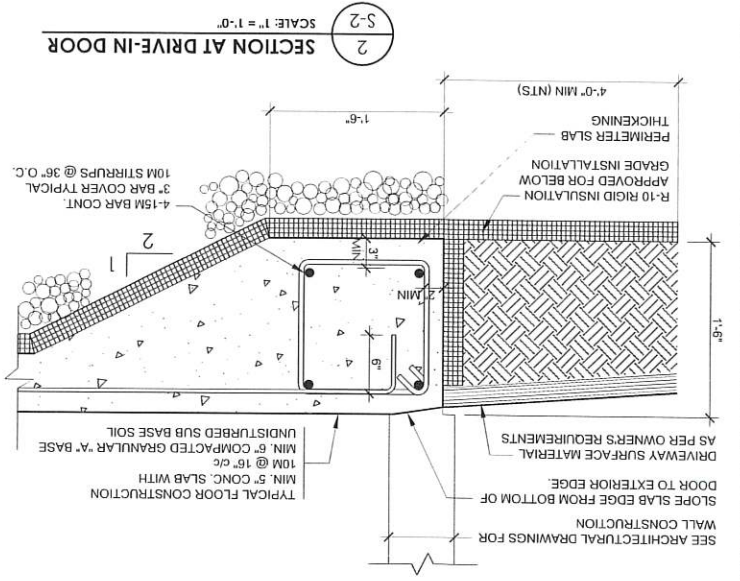
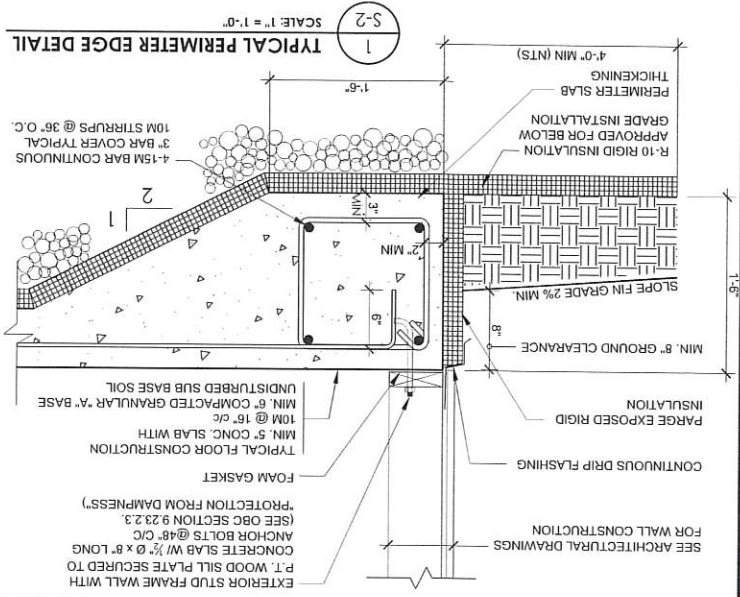
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Scale: 3/16" = 1'-0"

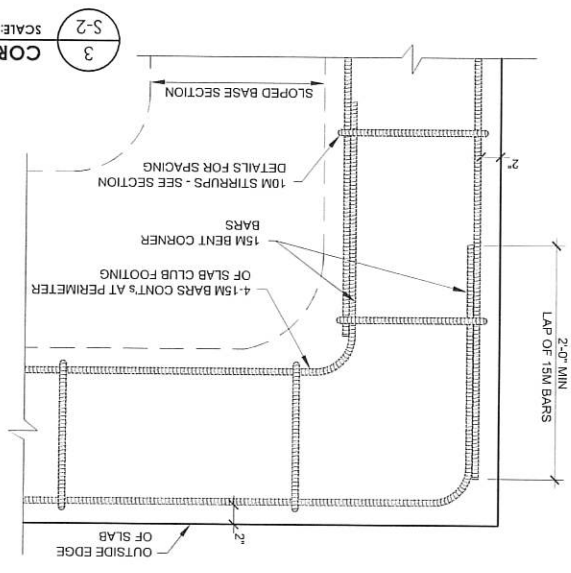
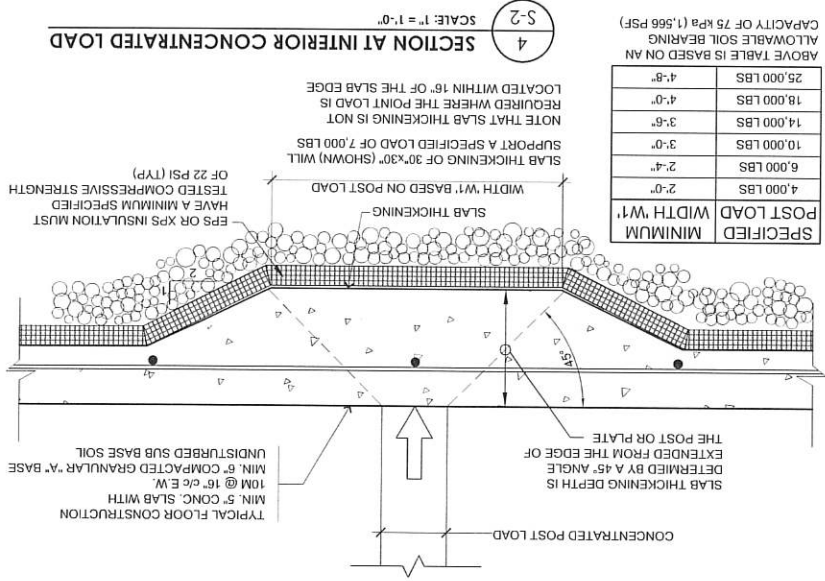
GARAGE SLAB PLAN

Report No: GPS-25-64056
Drawing No: S-1



ABOVE TABLE IS BASED ON AN ALLOWABLE SOIL BEARING CAPACITY OF 75 kPa (1,566 PSF)

POST LOAD	MINIMUM SPECIFIED WIDTH 'W1'
4,000 LBS	2'-0"
6,000 LBS	2'-4"
10,000 LBS	3'-0"
14,000 LBS	3'-6"
18,000 LBS	4'-0"
25,000 LBS	4'-8"



GARAGE SLAB DETAILS

Report No: GPS-25-64056
Drawing No: S-2

Scale: AS NOTED
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REGISTERED PROFESSIONAL ENGINEER
M.S. REID
100074192
APR. 24, 2025
PROVINCE OF ONTARIO

1657-2 Red Lake Home Hardware Building Centre

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CAST-IN-PLACE CONCRETE NOTES

- 1.0 GENERAL
- 1.1 PROVIDE ALL LABOUR, MATERIALS, TOOLS, AND EQUIPMENT REQUIRED TO CARRY OUT THE WORK.
- 1.2 REFER ALSO TO GENERAL NOTES, NOTES UNDER PLANS AND SCHEDULES, TYPICAL DETAILS, AND SPECIFICATION.

2.0 PRODUCTS

- 2.1 PORTLAND CEMENT, WATER, AND AGGREGATES SHALL CONFORM TO CSA CAN3-A23.1M.
- 2.2 PROVIDE AN APPROVED WATER-REDUCING ADDITIVE IN ALL CONCRETE. PROVIDE AN APPROVED AIR ENTRAINING ADDITIVE IN ALL CONCRETE WHICH WILL BE EXPOSED TO A FREEZE/THAW CYCLE AND/OR THE ACTION OF DEICING SALT. ADMIXTURES SHALL CONFORM TO CSA CAN-A266M SERIES.

- 2.3 FORMWORK SHALL CONFORM TO CSA CAN3-A23.1M AND FALSEWORK SHALL CONFORM TO CSA S269.1.

- 2.4 REINFORCING STEEL, UNLESS SPECIFICALLY NOTED, SHALL BE DEFORMED BARS CONFORMING TO CSA G30.18-M GRADE 400 (58000 PSI).
- 2.5 WELDED WIRE FABRIC TO CONFORM TO CSA G30.5M.
- 2.6 REINFORCING SHALL BE DETAIL, BENT, PLACED, AND SUPPORTED TO CONFORM TO AG STANDARD 315 AND THE MANUAL OF STANDARD PRACTICE PUBLISHED BY THE REINFORCING STEEL INSTITUTE OF ONTARIO.

- 2.7 CURING AND SEALING COMPOUNDS, WHERE APPROVED FOR USE, SHALL CONFORM TO ASTM STANDARD C909. GENERALLY, ALL CONCRETE SURFACES ARE TO BE SEALED UNLESS NOTED OTHERWISE. COMPOUNDS ARE TO BE COMPATIBLE WITH APPLIED FINISHES.
- 3.0 EXECUTION
- 3.1 MINIMUM COMPRESSIVE STRENGTH FOR CONCRETE @ 28 DAYS SHALL BE AS NOTED ON THE DRAWINGS OR GENERAL NOTES (30 MPa MINIMUM).

- 3.2 SLUMP AT THE POINT OF DISCHARGE SHALL BE CONSISTENT AT 90MM + 20MM (3 1/2" + 3/4") UNLESS NOTED OTHERWISE. GREATER SLUMPS ARE NOT ACCEPTABLE.
- 3.3 CONCRETE MIXING, TRANSPORTATION, HANDLING, AND PLACING SHALL CONFORM TO CSA CAN3-A23.1M.
- 3.4 CONSTRUCTION JOINTS FOR SLABS AND BEAMS NOT SHOWN ON THE DRAWINGS SHALL BE APPROVED BY THE STRUCTURAL CONSULTANT BEFORE CONSTRUCTION.

- 3.5 FINISHING: REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR THE REQUIRED FINISH TO EXPOSED CONCRETE. ALL HONEYCOMBS SHALL BE CUT OUT AND FILLED. FLOOR FINISHES SHALL BE AS REQUIRED BY THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS AND SHALL CONFORM TO CSA STANDARD CAN3-A23.1-M (CLASS A FINISH UNLESS NOTED).
- 3.10 TOLERANCES FOR PLACING STRUCTURAL CONCRETE, REINFORCING STEEL, CAST-IN HARDWARE, AND FOR FLOOR & ROOF FINISHES SHALL BE AS SPECIFIED IN CSA STANDARD CAN3-A23.1M.

4.0 QUALITY CONTROL

4.1 FOR INSPECTION AND TESTING, SEE GENERAL NOTES.

DESIGN LOADS/NOTES

- (DESIGN LOADS ARE UNFACTORED)
- ROOF SNOW LOAD: 2.40 kPa (50 PSF) MAX
- ROOF DEAD LOAD: 0.75 kPa (15 PSF)
- FLOOR LIVE LOAD: 2.4 kPa (50 PSF)
- FLOOR DEAD LOAD: SELF WEIGHT
- THE LIVE LOAD HAS BEEN DESIGNED FOR LIGHT VEHICLES AND EQUIPMENT. IF HEAVY COMMERCIAL USE IS ANTICIPATED, THE DESIGNER MUST BE NOTIFIED PRIOR TO THE CONSTRUCTION OF THE SLAB.
- THE ATTACHED SLAB DRAWINGS HAVE BEEN PREPARED BY A PERSON QUALIFIED TO DESIGN IN ACCORDANCE WITH PART 4 OF THE ONTARIO BUILDING CODE AND AS SUCH COMPLES WITH THE APPLICABLE PROVISIONS IN CSA A-23.3 QUALIFYING OBC. SECTION 4.1.1.4(1) & (2).

SLAB FOUNDATION GENERAL NOTES

1. PROVIDE ADEQUATE GRADING AND DRAINAGE. SUBGRADE SHALL BE SUITABLE FOR A MINIMUM OF 75 kPa (1500 psf) BEARING. ENSURE THAT THE SOIL IS FREE DRAINING AND NON-FROST SUSCEPTIBLE TO A DEPTH OF 1.2m.
2. CONCRETE TO BE DESIGNED TO A MINIMUM 28-DAY 32 MPa COMPRESSIVE STRENGTH WITH 6-9% AIR ENTRAINMENT FOR GARAGE AND EXPOSED SLABS. THE SLAB CONSTRUCTION MUST CONFORM TO CANCSA A23.3 - 94 AND THE ONTARIO BUILDING CODE.
3. PLACE SLAB ON MINIMUM 5" GRANULAR "A" FILL COMPACTED TO 98% SPD ON SOUND UNDISTURBED ORIGINAL SUBGRADE. ALTERNATELY, THE GRANULAR SLAB BASE MAY BE A MINIMUM OF 6" OF 3/4" CLEAR STONE WITHOUT COMPACTION.
4. SLOPE PERIMETER GRADE TO DRAIN AWAY FROM THE SLAB, IN CASES WHERE THE CONDITIONS OF EXISTING GRADES WILL NOT REASONABLY PERMIT POSITIVE SLOPES AWAY FROM THE SLAB. 4"Ø WEEPING TILE SHALL BE INSTALLED ON AFFECTED SIDES AND DRAINED TO A SUITABLE LOCATION AWAY FROM THE SLAB EDGES.
5. ALL REBAR TO BE DEFORMED. GRADE 400 CONFORMING TO THE CSA-G30.18-M STANDARD. SPICE FOR 10# & 15# BARS: LAP MINIMUM 24" LAP MIN.
6. THIS SLAB ON GROUND IS DESIGNED FOR A ONE OR TWO-STORY WOOD-FRAMED STRUCTURE.
7. SAW CUT TO 25% OF SLAB THICKNESS TO CONTROL SHRINKAGE CRACKING. REINFORCING MUST NOT BE CUT WITH THIS OPERATION, AND THEREFORE CARE MUST BE TAKEN TO PLACE THE REINFORCING, ALLOWING ADEQUATE CONCRETE TOP COVER FOR SAW-CUTTING PURPOSES.

8. FLOOR FINISHES (E.G., CERAMIC TILE) MUST BE INSTALLED WITH SUFFICIENT ISOLATION JOINT MATERIAL TO PREVENT DAMAGE DUE TO MOVEMENT WHERE TEMPERATURE, SHRINKAGE, OR SETTLEMENT MIGHT ADVERSELY AFFECT THE SLAB'S FLATNESS OR DIMENSIONAL STABILITY.
9. HYDRONIC HEATING LINES UP TO 3/4"Ø TUBING ARE PERMITTED.
- BELOW GRADE INSULATION
- ALL BELOW GRADE INSULATION TO HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 20 PSI UNLESS NOTED OTHERWISE IN THE SECTION DETAILS. ALL BELOW GRADE INSULATION MUST BE APPROVED FOR BELOW GRADE USE. ALL PERIMETER INSULATION SHALL BE SLIGHTLY SLOPED AWAY FROM THE SLAB IT PROTECTS. MIN. R-VALUES SHALL BE IN ACCORDANCE WITH BUILDING CODE INSULATION REQUIREMENTS. FREEZING INDEX, AND FROST PROTECTION.

ONTARIO BUILDING CODE REFERENCES

1. SMALL SINGLE STOREY GARAGES TO BE SUPPORTED ON "NUD SILL'S" (UNDERPINDED) PROVIDED THE GARAGE IS NOT OF MASONRY OR MASONRY VENEER CONSTRUCTION. (THIS SECTION IS NOT APPLICABLE).
2. SECTION 9.12.2.2.(6)(B) DREGULATES FOUNDATION DEPTHS FOR ACCESSORY STRUCTURES AS DESCRIBED ABOVE (PERMITS SLAB FOUNDATIONS).
3. SECTION 9.15.1.1.(2) REQUIRES THAT A FOUNDATION OTHER THAN CONVENTIONAL CONCRETE OR MASONRY WALLS ON A CONCRETE FOOTING BE DESIGNED IN ACCORDANCE WITH SECTION 9.4.
4. SECTION 9.15.1.1.(3) STATES THAT FOUNDATIONS ERECTED ON FILLED GROUND, PEAT OR SENSITIVE CLAY MUST HAVE THE FOOTINGS DESIGNED IN CONFORMANCE WITH SECTION 4.2.
5. OBC SECTION 9.16.1.2, "STRUCTURAL FLOOR SLABS" SENTENCE (1) REQUIRES THAT FLOORS ON GROUND THAT SUPPORT LOADS FROM THE SUPERSTRUCTURE SHALL BE DESIGNED IN CONFORMANCE WITH PART 4.
6. IT IS THE RESPONSIBILITY OF THE LOCAL MUNICIPAL BUILDING INSPECTOR TO CARRY OUT ALL OF THE REQUIRED INSPECTIONS FOR THIS ENGINEERED SLAB. NOTICE FOR INSPECTION IS RECEIVED, AN INSPECTOR OR REGISTERED CODE AGENCY, AS THE CASE MAY BE, SHALL CARRY OUT THE INSPECTION REQUIRED BY THE BUILDING CODE WITHIN THE PRESCRIBED PERIOD.
8. IT IS FURTHER NOTED THAT THE RELEVANT ONTARIO BUILDING CODE SECTION 1.3.5.1, OF DIVISION "C, PART 1", PRESCRIBED NOTICES' REQUIRES THAT NOTICE MUST BE GIVEN UPON READINESS TO CONSTRUCT FOOTINGS (IN THIS CASE THE ENGINEERED SLAB) PRIOR TO POURING CONCRETE.
9. THE RESPONSIBILITY TO INSPECT THE FOOTINGS FOR A BUILDING OF THIS AREA IS REQUIRED TO BE COMPLETED BY THE INSPECTOR AND NOT THE ENGINEER OF RECORD. BUILDINGS LARGER THAN 3 STOREYS IN BUILDING HEIGHT OR LARGER THAN 6000' IN BUILDING AREA REQUIRE PROFESSIONAL GENERAL REVIEW BY THE ENGINEER. (NOTE THAT ONLY WHERE THE PROPOSED SINGLE USE OF THIS BUILDING IS ASSEMBLY, INSTITUTIONAL CARE OR DETENTION FACILITY AN ENGINEER WOULD BE REQUIRED TO REVIEW THE SLAB CONSTRUCTION).

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Issue Date: Apr. 24, 2025

Scale: AS NOTED

SECTION DETAILS

Report No: GPS-25-64056
Drawing No: S-3

CONCRETE COVER FOR REINFORCING BARS

CONCRETE COVER FOR REINFORCING BARS

CONCRETE COVER FOR REINFORCING BARS

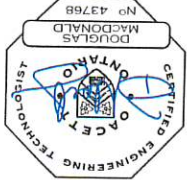
EXPOSURE CONDITION	N	F-1, F-2, S-1	S-2
CAST AGAINST PERMANENTLY EXPOSED EARTH	-	75mm	75mm
BEAMS, GIRDERS, COLUMNS, AND FOLDS	30mm	40mm	50mm
STAIRS, WALLS, JOISTS, SHELLS, AND PLATED PLATES	20mm	40mm	50mm
RATIO OF COVER TO NOMINAL BAR DIAMETER	1.0	1.5	2.0
RATIO OF COVER TO NOMINAL MAXIMUM AGGREGATE SIZE	1.0	1.5	2.0

EXPOSURE CONDITION	N	F-1, F-2, S-1	S-2
CAST AGAINST PERMANENTLY EXPOSED EARTH	-	75mm	75mm
BEAMS, GIRDERS, COLUMNS, AND FOLDS	30mm	40mm	50mm
STAIRS, WALLS, JOISTS, SHELLS, AND PLATED PLATES	20mm	40mm	50mm
RATIO OF COVER TO NOMINAL BAR DIAMETER	1.0	1.5	2.0
RATIO OF COVER TO NOMINAL MAXIMUM AGGREGATE SIZE	1.0	1.5	2.0

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SECTION DETAILS

Report No:	GPS-25-64056
Drawing No:	S-3

Load Determination

Lintel Supporting 1 Floor + Roof		
Location	Construction	PSF
Floor 1 Dead Load:	Typical Light Finish Residential	15
Floor 1 Live Load:	Typical Residential Floor	40
Roof Design Snow Load:	Red Lake	33.84

Calculation Results

Factored Load at Left Beam Support	1556 Lbs
Factored Load at Right Beam Support	1556 Lbs
% Stress Allowed in Bending	71 % OK
% Stress Allowed in Shear	31% OK
% Allowed Live Load Deflection	55% OK
% Allowed Total Load Deflection	41% OK
% Allowed Permanent Deflection	27% OK
Minimum Length of Bearing for Beam (Left)	0.84
Minimum Length of Bearing for Beam (Right)	0.84
Min. Length of Bearing for Support Member (Lft)	0.39
Min. Length of Bearing for Support Member (Rt)	0.39

Wood - Lumber Built-up

Generic Material				
Species	Grade	Width	Depth	# of Plies
S-P-F	No. 1/No. 2	2	10	2

Load at Left Supports (Lbs)	Load at Right Supports (Lbs)	
Dead:	349	Dead: 349
Live:	247	Live: 247
Snow:	665	Snow: 665
Factored:	1556	Factored: 1556
Max Moment Location: 6.11' From Left Support		

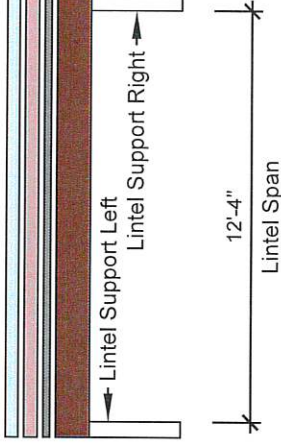
Design Summary

Description:	2-2x10
Minimum Left Bearing Length:	0.84 in B/U Stud
Minimum Right Bearing Length:	0.84 in B/U Stud
Beam Weight Based on Span 68 Lbs	

Qualification Notes:

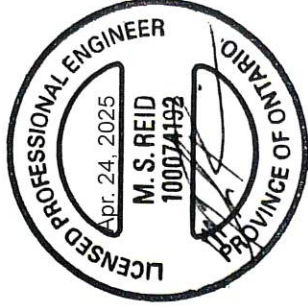
All Beams and Lintels must be supported on the compression edge at intervals not exceeding 24" O.C. - Beams must be laterally supported at their bearing points - Design of wood beams is based on dry service conditions without treatments and "Standard Term" load duration - 1.75" wide Engineered Wood Beams greater than 14" in depth must be comprised of multiple member units - Where a Generic LVL Material has been chosen always verify sizing with a Manufacturer.

Any of the supporting members for the beam are not included in this design. The support must be the same width as the beam.



1657-2 Red Lake Home Hardware Building
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Drawing Title:

LINTEL SUPPORTING ROOF CALCULATIONS

Date: Apr. 24, 2025 Scale: N/A

Lintel Name:
LINTEL D01

Project Title:
Sunset Lodge

Project Address:
4 Sunset Road
Red Lake, Ontario

Drawing No.: 1

File No.:

Load Determination

Lintel Supporting 1 Floor + Roof		
Location	Construction	PSF
Floor 1 Dead Load:	Typical Light Finish Residential	15
Floor 1 Live Load:	Typical Residential Floor	40
Roof Design Snow Load:	Red Lake	33.84

Calculation Results

Factored Load at Left Beam Support	1556 Lbs
Factored Load at Right Beam Support	1556 Lbs
% Stress Allowed in Bending	71 % OK
% Stress Allowed in Shear	31% OK
% Allowed Live Load Deflection	55% OK
% Allowed Total Load Deflection	41% OK
% Allowed Permanent Deflection	27% OK
Minimum Length of Bearing for Beam (Left)	0.84
Minimum Length of Bearing for Beam (Right)	0.84
Min. Length of Bearing for Support Member (Lft)	0.39
Min. Length of Bearing for Support Member (Rt)	0.39

Wood - Lumber Built-up

Generic Material				
Species	Grade	Width	Depth	# of Plies
S-P-F	No. 1/No. 2	2	10	2

Load at Left Supports (Lbs)	Load at Right Supports (Lbs)
Dead: 349	Dead: 349
Live: 247	Live: 247
Snow: 665	Snow: 665
Factored: 1556	Factored: 1556
Max Moment Location: 6.11' From Left Support	

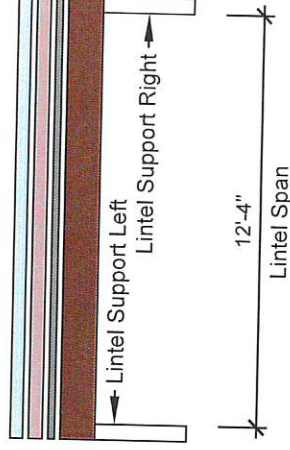
Design Summary

Description: 2-2x10
Minimum Left Bearing Length: 0.84 in B/U Stud
Minimum Right Bearing Length: 0.84 in B/U Stud
Beam Weight Based on Span 68 Lbs

Qualification Notes:

All Beams and Lintels must be supported on the compression edge at intervals not exceeding 24" O.C. - Beams must be laterally supported at their bearing points - Design of wood beams is based on dry service conditions without treatments and "Standard Term" load duration - 1.75" wide Engineered Wood Beams greater than 14" in depth must be comprised of multiple member units - Where a Generic LVL Material has been chosen always verify sizing with a Manufacturer.

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Drawing Title:

LINTEL SUPPORTING ROOF CALCULATIONS

Date: Apr. 24, 2025 Scale: N/A

Lintel Name:

LINTEL D02

Project Title:
Sunset Lodge

Project Address:
4 Sunset Road
Red Lake, Ontario

Drawing No.: 2

File No.:

Load Determination

Lintel Supporting 1 Floor + Roof		
Location	Construction	PSF
Floor 1 Dead Load:	Typical Light Finish Residential	15
Floor 1 Live Load:	Typical Residential Floor	40
Roof Design Snow Load:	Red Lake	33.84

Calculation Results

Factored Load at Left Beam Support	538 Lbs
Factored Load at Right Beam Support	538 Lbs
% Stress Allowed in Bending	39 % OK
% Stress Allowed in Shear	19% OK
% Allowed Live Load Deflection	44% OK
% Allowed Total Load Deflection	32% OK
% Allowed Permanent Deflection	20% OK
Minimum Length of Bearing for Beam (Left)	0.29
Minimum Length of Bearing for Beam (Right)	0.29
Min. Length of Bearing for Support Member (Lft)	0.13
Min. Length of Bearing for Support Member (Rt)	0.13

Wood - Lumber Built-up

Generic Material			
Species	Grade	Width	Depth
S-P-F	No. 1/No. 2	2	4
# of Plies			2

Load at Left Supports (Lbs)		Load at Right Supports (Lbs)	
Dead:	115	Dead:	115
Live:	87	Live:	87
Snow:	234	Snow:	234
Factored:	538	Factored:	538
Max Moment Location: 2.15' From Left Support			

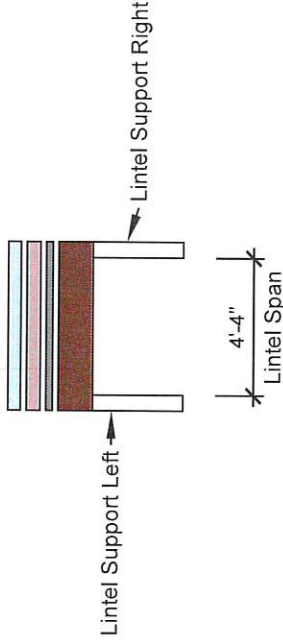
Design Summary

Description: 2-2x4	
Minimum Left Bearing Length:	0.29 in B/U Stud
Minimum Right Bearing Length:	0.29 in B/U Stud
Beam Weight Based on Span 9 Lbs	

Qualification Notes:

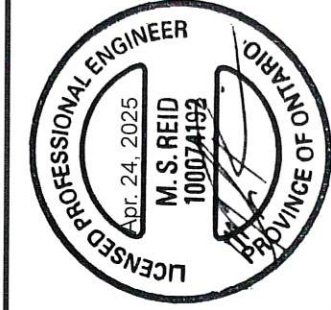
All Beams and Lintels must be supported on the compression edge at intervals not exceeding 24" O.C. - Beams must be laterally supported at their bearing points - Design of wood beams is based on dry service conditions without treatments and "Standard Term" load duration - 1.75" wide Engineered Wood Beams greater than 14" in depth must be comprised of multiple member units - Where a Generic LVL Material has been chosen always verify sizing with a Manufacturer.

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Drawing Title:

LINTEL SUPPORTING ROOF CALCULATIONS

Date: Apr. 24, 2025 Scale: N/A

Lintel Name:

LINTEL W01

Project Title:
Sunset Lodge

Project Address:
4 Sunset Road
Red Lake, Ontario

Drawing No.: 3

File No.:

Load Determination

Lintel Supporting 1 Floor + Roof		
Location	Construction	PSF
Floor 1 Dead Load:	Typical Light Finish Residential	15
Floor 1 Live Load:	Typical Residential Floor	40
Roof Design Snow Load:	Red Lake	33.84

Calculation Results

Factored Load at Left Beam Support	538 Lbs
Factored Load at Right Beam Support	538 Lbs
% Stress Allowed in Bending	39 % OK
% Stress Allowed in Shear	19% OK
% Allowed Live Load Deflection	44% OK
% Allowed Total Load Deflection	32% OK
% Allowed Permanent Deflection	20% OK
Minimum Length of Bearing for Beam (Left)	0.29
Minimum Length of Bearing for Beam (Right)	0.29
Min. Length of Bearing for Support Member (Lft)	0.13
Min. Length of Bearing for Support Member (Rt)	0.13

Wood - Lumber Built-up

Generic Material			
Species	Grade	Width	Depth
S-P-F	No. 1/No. 2	2	4
			# of Plies
			2

Load at Left Supports (Lbs)	Load at Right Supports (Lbs)	
Dead:	115	Dead: 115
Live:	87	Live: 87
Snow:	234	Snow: 234
Factored:	538	Factored: 538
Max Moment Location: 2.15' From Left Support		

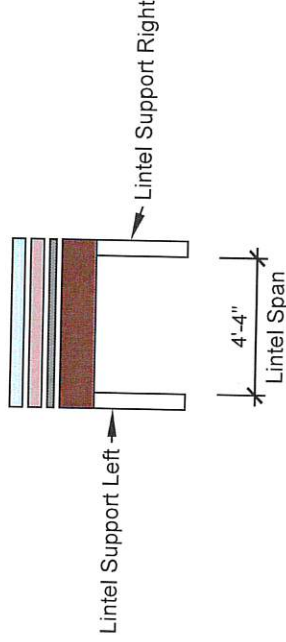
Design Summary

Description:	2-2x4
Minimum Left Bearing Length:	0.29 in B/U Stud
Minimum Right Bearing Length:	0.29 in B/U Stud
Beam Weight Based on Span 9 Lbs	

Qualification Notes:

All Beams and Lintels must be supported on the compression edge at intervals not exceeding 24" O.C. - Beams must be laterally supported at their bearing points - Design of wood beams is based on dry service conditions without treatments and "Standard Term" load duration - 1.75" wide Engineered Wood Beams greater than 14" in depth must be comprised of multiple member units - Where a Generic LVL Material has been chosen always verify sizing with a Manufacturer.

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Drawing Title:

LINTEL SUPPORTING ROOF CALCULATIONS

Date: Apr. 24, 2025

Scale: N/A

Lintel Name:

LINTEL W02

Project Title:

Sunset Lodge

Project Address:

4 Sunset Road
Red Lake, Ontario

Drawing No.: 4

File No.:

Load Determination

Lintel Supporting 1 Floor + Roof		
Location	Construction	PSF
Floor 1 Dead Load:	Typical Light Finish Residential	15
Floor 1 Live Load:	Typical Residential Floor	40
Roof Design Snow Load:	Red Lake	33.84

Calculation Results

Factored Load at Left Beam Support	3801 Lbs
Factored Load at Right Beam Support	3801 Lbs
% Stress Allowed in Bending	70 % OK
% Stress Allowed in Shear	65% OK
% Allowed Live Load Deflection	22% OK
% Allowed Total Load Deflection	17% OK
% Allowed Permanent Deflection	11% OK
Minimum Length of Bearing for Beam (Left)	2.06
Minimum Length of Bearing for Beam (Right)	2.06
Min. Length of Bearing for Support Member (Lft)	0.95
Min. Length of Bearing for Support Member (Rt)	0.95

Wood - Lumber Built-up

Generic Material			
Species	Grade	Width	Depth
S-P-F	No. 1/No. 2	2	8
# of Plies		2	

Load at Left Supports (Lbs)		Load at Right Supports (Lbs)	
Dead:	938	Dead:	938
Live:	1319	Live:	1319
Snow:	1305	Snow:	1305
Factored:	3801	Factored:	3801
Max Moment Location: 1.65' From Left Support			

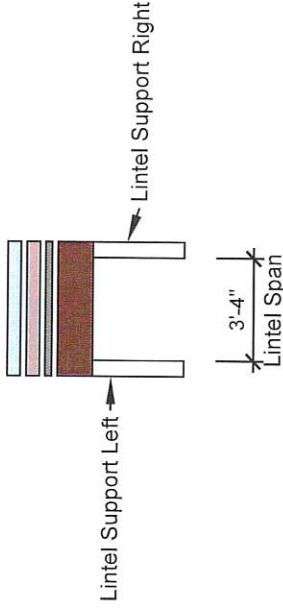
Design Summary

Description:	2-2x8 2-JACKS
Minimum Left Bearing Length:	2.06 in B/U Stud 2-JACKS
Minimum Right Bearing Length:	2.06 in B/U Stud 2-JACKS
Beam Weight Based on Span	15 Lbs

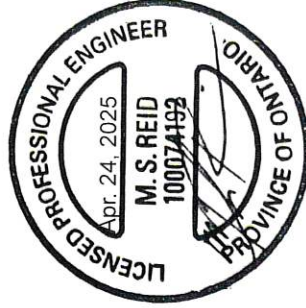
Qualification Notes:

All Beams and Lintels must be supported on the compression edge at intervals not exceeding 24" O.C. - Beams must be laterally supported at their bearing points - Design of wood beams is based on dry service conditions without treatments and "Standard Term" load duration - 1.75" wide Engineered Wood Beams greater than 14" in depth must be comprised of multiple member units - Where a Generic LVL Material has been chosen always verify sizing with a Manufacturer.

Any of the supporting members for the beam are not included in this design. The support must be the same width as the beam.



1657-2 Red Lake Home Hardware Building
Centre



Drawing Title:

LINTEL SUPPORTING ROOF CALCULATIONS

Date: Apr. 24, 2025 Scale: N/A

Lintel Name:

LINTEL D03

Project Title:
Sunset Lodge

Project Address:
4 Sunset Road
Red Lake, Ontario

Drawing No.: 5

File No.:

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Load Determination

Lintel Supporting 1 Floor + Roof		
Location	Construction	PSF
Floor 1 Dead Load:	Typical Light Finish Residential	15
Floor 1 Live Load:	Typical Residential Floor	40
Roof Design Snow Load:	Red Lake	33.84

Calculation Results

Factored Load at Left Beam Support	3801 Lbs
Factored Load at Right Beam Support	3801 Lbs
% Stress Allowed in Bending	70 % OK
% Stress Allowed in Shear	65% OK
% Allowed Live Load Deflection	22% OK
% Allowed Total Load Deflection	17% OK
% Allowed Permanent Deflection	11% OK
Minimum Length of Bearing for Beam (Left)	2.06
Minimum Length of Bearing for Beam (Right)	2.06
Min. Length of Bearing for Support Member (Lft)	0.95
Min. Length of Bearing for Support Member (Rt)	0.95

Wood - Lumber Built-up

Generic Material			
Species	Grade	Width	Depth
S-P-F	No. 1/No. 2	2	8
# of Plies		2	

Load at Left Supports (Lbs)		Load at Right Supports (Lbs)	
Dead:	938	Dead:	938
Live:	1319	Live:	1319
Snow:	1305	Snow:	1305
Factored:	3801	Factored:	3801
Max Moment Location: 1.65' From Left Support			

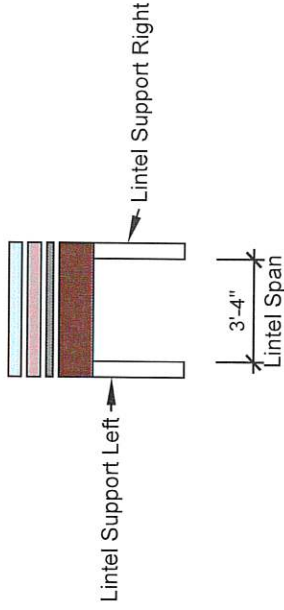
Design Summary

Description:	2-2x8 2-JACKS
Minimum Left Bearing Length:	2.06 in B/U Stud 2-JACKS
Minimum Right Bearing Length:	2.06 in B/U Stud 2-JACKS
Beam Weight Based on Span	15 Lbs

Qualification Notes:

All Beams and Lintels must be supported on the compression edge at intervals not exceeding 24" O.C. - Beams must be laterally supported at their bearing points - Design of wood beams is based on dry service conditions without treatments and "Standard Term" load duration - 1.75" wide Engineered Wood Beams greater than 14" in depth must be comprised of multiple member units - Where a Generic LVL Material has been chosen always verify sizing with a Manufacturer.

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1657-2 Red Lake Home Hardware Building
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Drawing Title:

LINTEL SUPPORTING ROOF CALCULATIONS

Date: Apr. 24, 2025

Scale: N/A

Lintel Name:

LINTEL D04

Project Title:

Sunset Lodge

Project Address:

4 Sunset Road
Red Lake, Ontario

Drawing No.: 6

File No.:

Load Determination		
Lintel Supporting 1 Floor + Roof		
Location	Construction	PSF
Floor 1 Dead Load:	Typical Light Finish Residential	15
Floor 1 Live Load:	Typical Residential Floor	40
Roof Design Snow Load:	Red Lake	33.84

Calculation Results

Factored Load at Left Beam Support	4945 Lbs
Factored Load at Right Beam Support	4945 Lbs
% Stress Allowed in Bending	80 % OK
% Stress Allowed in Shear	73% OK
% Allowed Live Load Deflection	24% OK
% Allowed Total Load Deflection	18% OK
% Allowed Permanent Deflection	12% OK
Minimum Length of Bearing for Beam (Left)	2.68
Minimum Length of Bearing for Beam (Right)	2.68
Min. Length of Bearing for Support Member (Lft)	1.24
Min. Length of Bearing for Support Member (Rt)	1.24

Wood - Lumber Built-up

Generic Material			
Species	Grade	Width	Depth
S-P-F	No. 1/No. 2	2	10
# of Plies			2

Load at Left Supports (Lbs)	Load at Right Supports (Lbs)
Dead: 1221	Dead: 1221
Live: 1714	Live: 1714
Snow: 1696	Snow: 1696
Factored: 4945	Factored: 4945
Max Moment Location: 2.15' From Left Support	

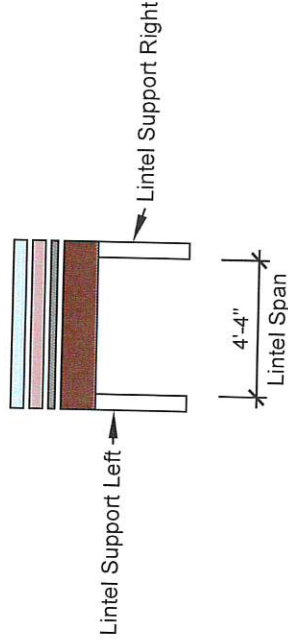
Design Summary

Description:	2-2x10 2-JACKS
Minimum Left Bearing Length:	2.68 in B/U Stud 2-JACKS
Minimum Right Bearing Length:	2.68 in B/U Stud 2-JACKS
Beam Weight Based on Span	24 Lbs

Qualification Notes:

All Beams and Lintels must be supported on the compression edge at intervals not exceeding 24" O.C. - Beams must be laterally supported at their bearing points - Design of wood beams is based on dry service conditions without treatments and "Standard Term" load duration - 1.75" wide Engineered Wood Beams greater than 14" in depth must be comprised of multiple member units - Where a Generic LVL Material has been chosen always verify sizing with a Manufacturer.

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Drawing Title:

LINTEL SUPPORTING ROOF CALCULATIONS

Date: Apr. 24, 2025 Scale: N/A

Lintel Name:

LINTEL W03

Project Title:

Sunset Lodge

Project Address:

4 Sunset Road
Red Lake, Ontario

Drawing No.: 7

File No.:

Load Determination

Lintel Supporting 1 Floor + Roof		
Location	Construction	PSF
Floor 1 Dead Load:	Typical Light Finish Residential	15
Floor 1 Live Load:	Typical Residential Floor	40
Roof Design Snow Load:	Red Lake	33.84

Calculation Results

Factored Load at Left Beam Support	4945 Lbs
Factored Load at Right Beam Support	4945 Lbs
% Stress Allowed in Bending	80 % OK
% Stress Allowed in Shear	73% OK
% Allowed Live Load Deflection	24% OK
% Allowed Total Load Deflection	18% OK
% Allowed Permanent Deflection	12% OK
Minimum Length of Bearing for Beam (Left)	2.68
Minimum Length of Bearing for Beam (Right)	2.68
Min. Length of Bearing for Support Member (Lft)	1.24
Min. Length of Bearing for Support Member (Rt)	1.24

Wood - Lumber Built-up

Generic Material			
Species	Grade	Width	Depth
S-P-F	No. 1/No. 2	2	10
# of Plies			2

Load at Left Supports (Lbs)	Load at Right Supports (Lbs)		
Dead:	1221	Dead:	1221
Live:	1714	Live:	1714
Snow:	1696	Snow:	1696
Factored:	4945	Factored:	4945
Max Moment Location: 2.15' From Left Support			

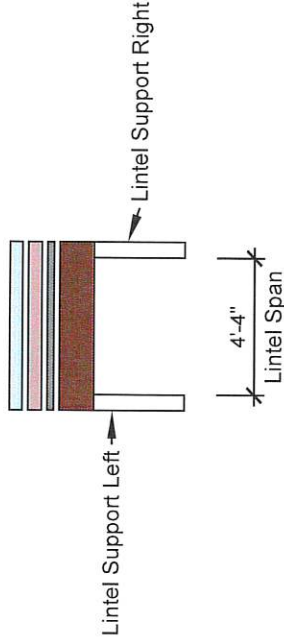
Design Summary

Description:	2-2x10 2-JACKS
Minimum Left Bearing Length:	2.68 in B/U Stud 2-JACKS
Minimum Right Bearing Length:	2.68 in B/U Stud 2-JACKS
Beam Weight Based on Span	24 Lbs

Qualification Notes:

All Beams and Lintels must be supported on the compression edge at intervals not exceeding 24" O.C. - Beams must be laterally supported at their bearing points - Design of wood beams is based on dry service conditions without treatments and "Standard Term" load duration - 1.75" wide Engineered Wood Beams greater than 14" in depth must be comprised of multiple member units - Where a Generic LVL Material has been chosen always verify sizing with a Manufacturer.

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Drawing Title:

LINTEL SUPPORTING ROOF CALCULATIONS

Date: Apr. 24, 2025 Scale: N/A

Lintel Name:

LINTEL W04

Project Title:

Sunset Lodge

Project Address:

4 Sunset Road
Red Lake, Ontario

Drawing No.: 8

File No.:

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information

Building number, street name 4 Sunset Road	Unit no.	Lot/con	
Municipality Red Lake, Municipality of, Ontario	Postal code	Plan number / other description	

B. Individual who reviews and takes responsibility for design activities

Name Doug MacDonald	Firm MacDonald Design & Management	
Street address 36 Melrose Place	Lot/con	Plan number / other description
Municipality Guelph	Postal code N1K 1W4	Province Ontario Email doug@ibdweb.ca

C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]

☒ House ☒ Small Buildings ☐ Large Buildings ☐ Complex Buildings	☐ HVAC - House ☐ Building Services ☐ Detection, Lighting and Power ☐ Fire Protection	☒ Building Structural ☐ Plumbing - House ☐ Plumbing - All Buildings ☐ On-site Sewage Systems
Description of designer's work		

New Detached Wood Frame Garage

D. Declaration of Designer

I, **Doug MacDonald, C.E.T., M.A.A.T.O., OAAAS** declare that (choose one as appropriate):

☒ I reviewed and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: **25628**

Firm BCIN: **31087**

☐ I reviewed and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.

Individual BCIN:

Firm BCIN:

☐ The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____

Individual BCIN:

Firm BCIN:

I certify that:

1. The information contained in this schedule is true to the best of my knowledge.

2. I have submitted this application with the knowledge and consent of the firm.

2025-04-24

Date

Signature



NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) d), of Division C, Article 3.2.5.1, of Division C, and of all other persons who are exempt from qualification under Subsections 3.2.4, and 3.2.5, of Division C.

2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario. Application for a Permit to Construct or Demolish - Effective January 1, 2014



NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT APPLICATION FOR:

☐ Minor Variance – s. 45(1) ☐ Permission – s. 45(2)

APPLICATION BY Devin Parks

LOCATION OF PROPERTY 4 Sunset Road, Red Lake

PURPOSE OF APPLICATION To receive relief from requirements of the Zoning By-Law. The applicant is requesting relief from Section 3.2(g) of the Zoning By-Law, to increase the maximum height of an accessory building to 6.0 meters.

MINOR VARIANCE APPROVAL CONDITIONS:

1. Upper floor to have a maximum floor area of 512 ft².
2. Roof of garage shall be a 7/12 pitch and shall not include any dormers or secondary rooflines.
3. Garage shall not be connected to a septic system or water supply, nor shall the garage include any space utilized or capable of being utilized for residential/living purposes.

WE, the undersigned, in making the decision upon this application, have considered whether or not the permission requested was minor and desirable for the appropriate development or use of the land, building or structure, and that the general intent and purpose of the zoning by-law and the official plan will be maintained or, in the case of a change in a use in a property which is lawfully non-conforming under the by-law, as to whether or not this application has met the requirements of subsection 45(1) of the *Planning Act*, concur in the following decision and reasons for the decision made on the **8th day of July, 2025**.

DECISION:

Approved: ☐

Defeated: ☐

CONDITIONS:

REASONS FOR DECISION:

The requested minor variance maintains the general intent and purpose of the Zoning By-law and is considered minor.

SIGNATURES OF MEMBERS

..... Jerrett Landry, Chair	 Dale Butterfield, Member	 Brenda Cooke, Member
..... Allistair McRae, Member	 Vacant	 Vacant

Appeal – The last date for filing a notice of this decision is 20 days after the notice of decision is given.

Any such appeal must be filed with the secretary-treasurer of the committee and must set out the objection to the decision and the reasons in support of the objection and must be accompanied by the fee required by the Local Planning Appeal Tribunal.

Person – appeal limitation – Only individuals, corporations and public bodies may appeal decisions in respect on an application for a minor variance or permission to the Local Planning Appeal Tribunal. A notice of appeal may not be filed by an unincorporated association or group. However a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Other Applications – if known, indicate if the subject land is the subject of an application under the Act for:

- | | | | | |
|---|--------|---------------|---------|-------|
| ☐ Approval of a plan of subdivision (under section 51) | File # |N/A..... | Status: | |
| ☐ Consent (under section 53) | File # |N/A..... | Status: | |
| ☐ Previous application (under section 45) | File # |N/A..... | Status: | |

CERTIFICATION

I, Michelle Hendry, certify that the information included herein is a true copy of the decision of the Committee with respect to the application recorded therein.

Dated this 8th day of July, 2025

.....
Michelle Hendry, CAO/Secretary-Treasurer