



THE CORPORATION OF THE MUNICIPALITY OF RED LAKE

BY-LAW No. 69-2019

**BEING A BY-LAW TO AMEND BY-LAW NO. 1930-14
WHICH REGULATES THE USE OF LAND, CHARACTER AND LOCATION OF
BUILDINGS, AND STRUCTURES IN THE MUNICIPALITY OF RED LAKE**

WHEREAS the Official Plan of the Corporation of the Municipality of Red Lake was approved by the Minister of Municipal Affairs on October 22, 2015; and,

WHEREAS the Municipality is in receipt of an application for a zoning by-law amendment and has administered a public meeting in accordance with the Planning Act, R.S.O. 1990; and,

WHEREAS Council deems it advisable to amend By-Law No. 1930-14 in accordance within the provisions of Section 34 of the Planning Act, Chapter P13, R.S.O. 1990;

NOW THEREFORE the Council of The Corporation of the Municipality of Red Lake hereby **ENACTS AS FOLLOWS:**

SECTION 1 – Application

- 1.1 This By-Law shall apply to property located at 10B Birch Street, Red Lake on lands as identified on “Schedule A” which is attached hereto and forms part of this By-Law.

SECTION 2 – Purpose and Effect

- 2.1 By-Law No. 1930-14 is hereby amended insofar as it applies to the permitted uses and regulations of lands shown on Schedule A.

The purpose of this By-Law is to change the regulated zoning classification for the lands from Institutional (I) Zone to the Townsite Residential Density 1 Exception (R1-6) Zone.

SECTION 3 – Amendment

- 3.1 The permitted uses and provisions within the Townsite Residential Density 1 zone being Section 5.4 of the Zoning By-Law are hereby amended by adding the following new section after the sub-section entitled “R1-5 Zone: 12 Cochenour Crescent”:

R1-6 Zone: 9 Summers Road

Notwithstanding Section 5.2 of this By-law, the following regulations shall apply to lands zoned R1-6:

- (i) The minimum front yard shall be reduced from 6 metres to 5.3 metres.

SECTION 4 – Conformity

- 4.1 In all other respects the provisions of By-law 1930-14 shall continue to apply.

THAT this By-Law shall come into force and take effect upon the final passing thereof.

READ a FIRST and SECOND TIME this 28th day of October, 2019.



Fred Mota, Mayor



Christine Goulet, Clerk

READ a THIRD TIME and FINALLY PASSED this 28th day of October, 2019.

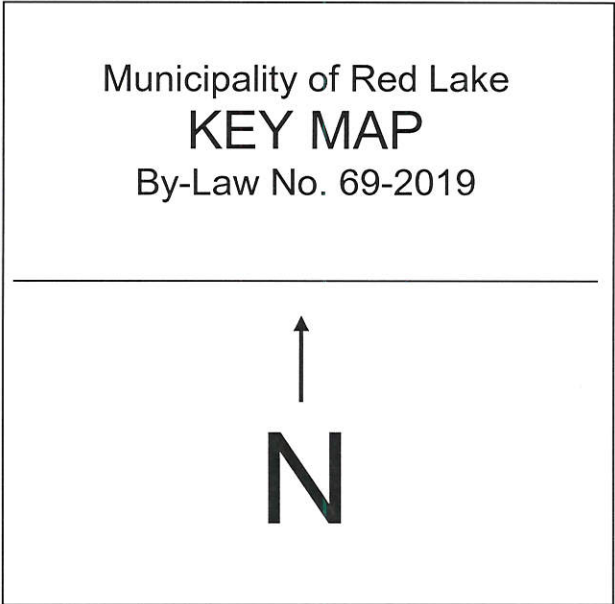
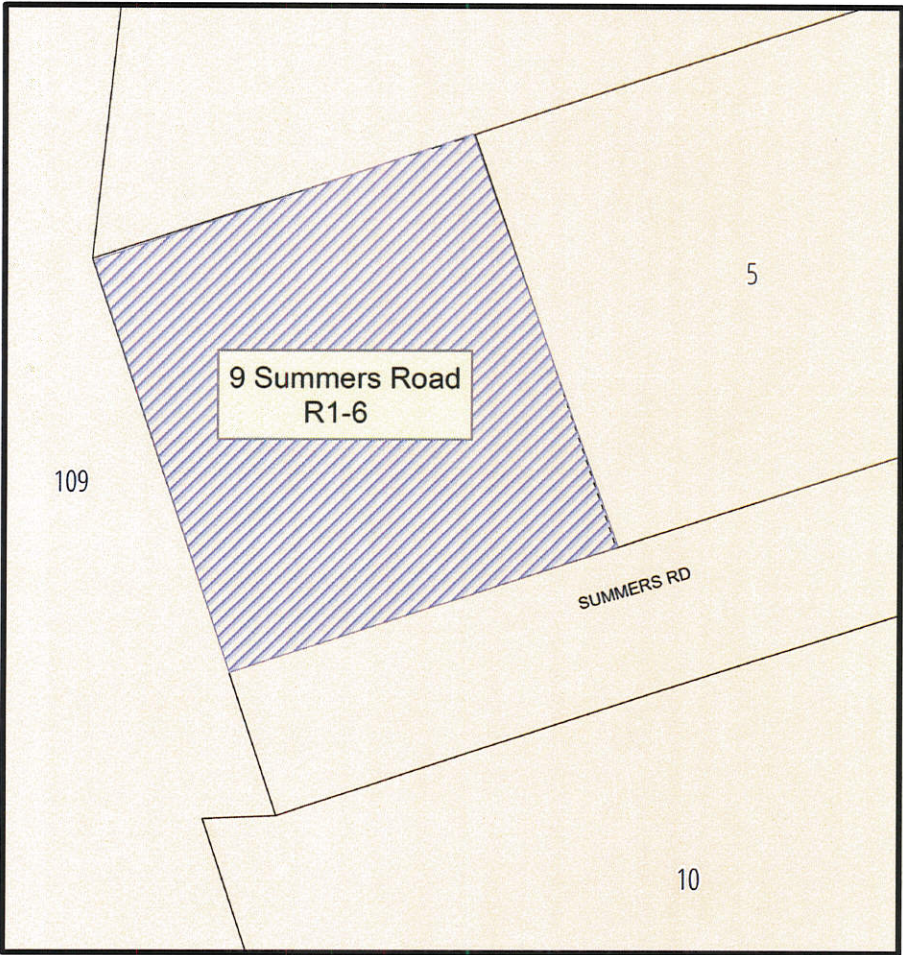


Fred Mota, Mayor



Christine Goulet, Clerk

Schedule A
9 Summers Road, Red Lake



SCHEDULE B

Statement of Conformity to the Official Plan For the Municipality of Red Lake (By-Law 1937-14)

I, Christine Goulet, Clerk of the Municipality of Red Lake,
Have reviewed By-Law No. 69-2019 of the Municipality of Red Lake,
and I am of the opinion that this By-Law is conformity with
the Official Plan for the Municipality of Red Lake (By-Law 1937-14).



Christine Goulet, Clerk

October 28th, 2019