



# **Request for Quotation**

For

## **Goldshore Road Drainage Landscaping**

**Issued by:** The Corporation of the Municipality of Red Lake  
2 Fifth St, Balmertown, ON

**Request for Quotation Contact:** Heather Weese  
**Email:** [procurement@redlake.ca](mailto:procurement@redlake.ca)

## 1) Project Background

The Municipality of Red Lake is undertaking a project to correct surface drainage issues on select residential properties along Goldshore Road. Engineered re-grading drawings have been prepared and are provided as part of this RFQ. The Municipality is seeking quotations from qualified landscaping/earthworks contractors to complete the required works in accordance with the drawings and these RFQ terms.

## 2) Project Objectives

- Complete all re-grading and drainage correction work as shown on the attached drawings.
- Establish proper surface grades to direct water away from structure and toward approved outlets.
- Restore disturbed areas according to drawings, returning rock features after grading completion and restoration with topsoil and sod.
- Minimize disruption and maintain safe access for residents during construction.

## 3) Scope & Deliverables

The Contractor shall provide all labour, equipment, and materials to complete the following:

- Excavation, fill placement, compaction, and fine grading to meet the design elevations and slopes.
- Erosion and sediment controls as required to protect adjacent properties, roadways, and drainage features. (Note: no long-term winter protection is required.)
- Protection and reinstatement of driveways, walkways, fences, landscaping, trees, and visible utilities impacted by the work. Driveways and walkways must be reinstated to their existing condition in accordance with the drawings.
- Contractor shall obtain and maintain valid locates prior to and during any excavation activities.
- Placement of topsoil and installation of sod in spring 2026 (timing to be confirmed with the Municipality). Contractor shall specify depth of topsoil and sod quality in their submission.
- Daily clean-up of work areas and adjacent roads and at project completion.

*Note: Any deviations from drawings or site-specific constraints identified by the Contractor shall be documented and submitted to the Municipality for written direction prior to implementation.*

## 4) Timeline

It is the Municipality's preference that drainage and re-grading occur in fall 2025, prior to winter. However, we acknowledge that weather and soil conditions may prevent this. Therefore, all respondents are asked to provide two schedules:

1. Preferred Schedule (2025-2026) – re-grading and drainage in fall 2025; topsoil placement and sod installation in spring 2026.
2. Alternative Schedule (2026) – full completion (grading, topsoil, and sod) in spring 2026.

Respondents should indicate whether they can accommodate the Municipality's preferred 2025 schedule, and clearly identify any cost or logistical differences between the two options.

Bare soil conditions over winter are acceptable given the longstanding drainage issues. Settlement adjustments will be addressed in spring 2026 as part of the restoration phase.

## 5) Quote Submission

Please email your quote to [heather.weese@redlake.ca](mailto:heather.weese@redlake.ca) by Friday October 17, 2025. Your quote should include:

- Fixed or itemized pricing based on the attached drawings.
  - Top soil depth and sod quality should be indicated.
- Clear, proposed schedule(s) in accordance with Section 4.

- A description of landscaping experience, with emphasis on relevant grading and drainage correction projects.
- References or project examples, where available.

**6) Evaluation**

Quotations will be evaluated on overall value to the Municipality, including:

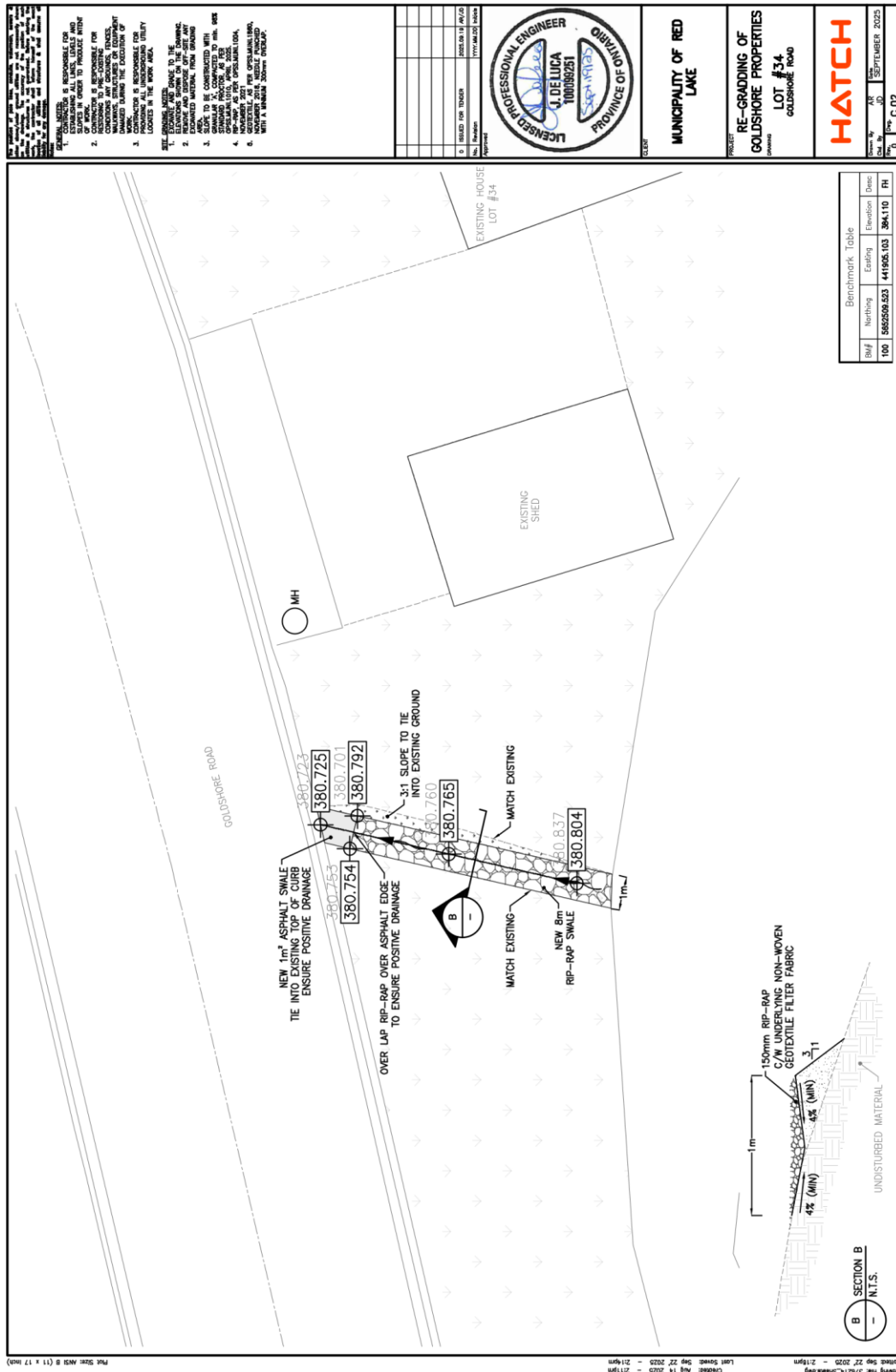
- Demonstrated experience with similar grading/drainage work;
- Ability to meet the Municipality's preferred 2025 schedule
- Pricing and clarity of inclusions/exclusions

The Municipality may request clarifications from respondents and/or negotiate scope and pricing with the highest ranked respondent.

**General RFQ Terms & Conditions**

- 1) This is a request for quotations, not a bid solicitation or tender. It does not create a contractual obligation or "Contract A" between the Municipality and any respondent.
- 2) The Municipality reserves the right to cancel this request, modify the scope of work, or reject any or all submissions without liability.
- 3) The Municipality is not obligated to accept the lowest-priced or any submission and may award based on overall value.
- 4) All submissions will be treated as confidential and used solely for the purposes of evaluating the quote. Vendors are responsible for identifying any proprietary or confidential information.
- 7) Respondents are responsible for all costs incurred in the preparation and submission of their quote.
- 8) Any clarifications will be provided to all invited vendors to ensure consistent information is shared.
- 9) Late submissions may not be considered.
- 10) The successful respondent will not be precluded from bidding on any future competitive solicitation issued by the Municipality relating to this RFQ, provided that no unfair advantage is afforded.
- 11) Questions regarding this request may be submitted by email to [heather.weese@redlake.ca](mailto:heather.weese@redlake.ca).

## APPENDIX A – RE-GRADING DRAWINGS

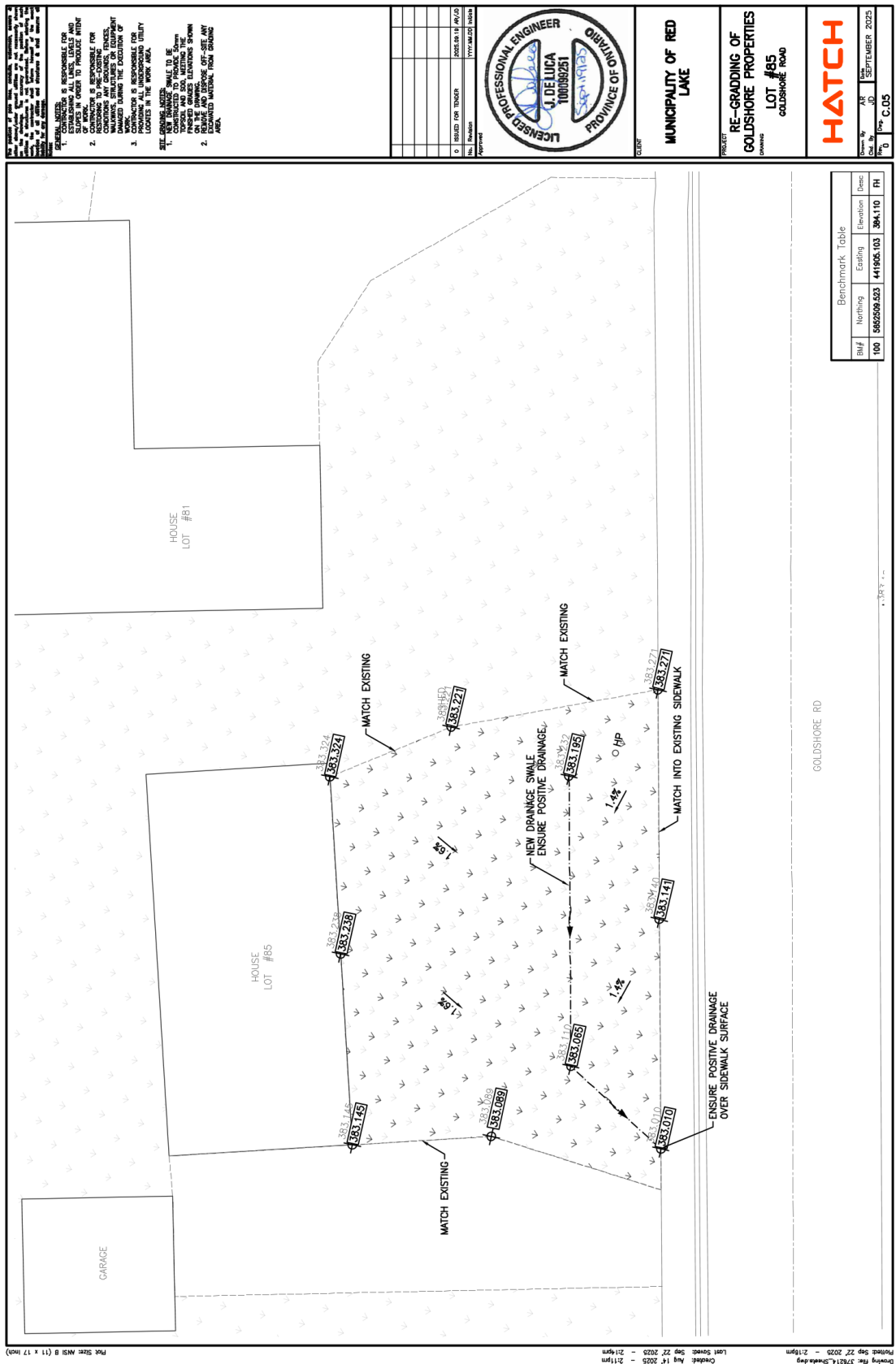


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**Grading Plan Details:**

- Project:** RE-GRADING OF GOLDSHORE PROPERTIES LOT #78 & #82 GOLDSHORE ROAD
- Client:** MUNICIPALITY OF RED LAKE
- Engineer:** J. DELUCA, LICENSED PROFESSIONAL ENGINEER (100189251), ONTARIO PROVINCE OF
- Scale:** 1" = 20'
- North Arrow:** Indicated pointing towards the top of the plan.
- Legend:**
  - EXISTING GRADE: Solid line with dots
  - PROPOSED GRADE: Dashed line
  - PROPOSED DRAINAGE SWALE: Dashed line with cross-hatches
  - PROPOSED DRIVEWAY: Solid line with cross-hatches
  - PROPOSED LOT BOUNDARY: Solid line
  - PROPOSED DRIVEWAY BOUNDARY: Solid line
- Key Features:**
  - Drainage Swales:** Two new drainage swales are proposed, one in each lot, to ensure positive drainage. They are shown as dashed lines with cross-hatches and labeled "NEW DRAINAGE SWALE ENSURE POSITIVE DRAINAGE".
  - Grading:** The plan shows existing and proposed elevations at various points. Slopes are indicated with percentages (e.g., 1.2%, 2.6%, 3.3%, 4.5%, 8.3%, 1.9%, 0.9%, 1.2%, 0.5%, 1.2%, 0.5%, 1.2%, 0.5%).
  - Property Boundaries:** The plan shows the boundaries of Lot #78 and Lot #82, as well as the Goldshore Rd right-of-way.
  - Existing Features:** Existing driveways, swales, and vegetation are shown. Notes include "SURFACE SWALE SHALL MATCH INTO EXISTING SUBDRAIN PIPE OVER DRIVEWAY SURFACE" and "EXISTING FOLIAGE/PLANTS TO BE REPLANTED AFTER GRADING COMPLETION (TYP.)".
  - Match Lines:** The plan includes match lines to existing conditions, labeled "MATCH EXISTING".

APPENDIX A CONT'D



**GENERAL NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL LEVELS AND SPACES IN ORDER TO PROVIDE PROPER DRAINAGE.
2. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES, CONDUITS, AND FOUNDATIONS. ANY DAMAGE TO EXISTING UTILITIES OR FOUNDATIONS DURING THE EXECUTION OF THE WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE MUNICIPALITY OF RED LAKE.

**SITE CONDITIONS:**

1. THE SITE IS A RESIDENTIAL LOT WITH EXISTING GRASS AND DRIVEWAY.
2. THE PROPOSED DRAINAGE SWALE SHALL BE 18" DEEP AND 12" WIDE.
3. THE DRAINAGE SWALE SHALL BE CONSTRUCTED WITH A 1% SLOPE TOWARD THE STREET.
4. THE DRAINAGE SWALE SHALL BE COVERED WITH A PERMEABLE PAVING MATERIAL.
5. THE DRAINAGE SWALE SHALL BE INSTALLED WITHIN 10' OF THE DRIVEWAY.
6. THE DRAINAGE SWALE SHALL BE INSTALLED WITHIN 10' OF THE STREET.
7. THE DRAINAGE SWALE SHALL BE INSTALLED WITHIN 10' OF THE PROPERTY LINE.
8. THE DRAINAGE SWALE SHALL BE INSTALLED WITHIN 10' OF THE ADJACENT PROPERTY LINE.
9. THE DRAINAGE SWALE SHALL BE INSTALLED WITHIN 10' OF THE ADJACENT PROPERTY LINE.
10. THE DRAINAGE SWALE SHALL BE INSTALLED WITHIN 10' OF THE ADJACENT PROPERTY LINE.

**APPROVED FOR TENDER:**

**APPROVED:**

**DATE:** SEP 27 2025

**TIME:** 10:00 AM

**PROJECT:** RE-GRADING OF GOLDSHORE PROPERTIES LOT #85 GOLDSHORE ROAD

**CLIENT:** MUNICIPALITY OF RED LAKE

**ENGINEER:** J. DE LUCA 100095251

**PROFESSIONAL ENGINEER:** ONKING OF OF

**SCALE:** 1" = 10'

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APPENDIX B – PROPERTY MAP

This map highlights the spread of work along Goldshore road. Each blue dot represents a property to be worked on as per the re-grading drawings.

